

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:  
55 Lakeside Drive, Chesney Vale,  
Lot 39, PS316386, Parish of Mokoan

The application is for a permit to:  
Use and develop the land for a dwelling

The applicant for the permit is:  
Mrs Kaeleene Warwick

The application reference number is:  
DA6837  
P0028/24

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must:**

- \* be made to the responsible authority in writing;
- \* include the reasons for the objection; and
- \* state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:

**28 May 2024**

If you object, the Responsible Authority will tell you its decision.

Clear Form

Office Use Only

Application No.: \_\_\_\_\_ Date Lodged: / /

# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

**i** Click for further information.

## The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

Unit No.:	St. No.: 55	St. Name: Lakeside Drive
Suburb/Locality: Chesney Vale		Postcode: 3725

### Formal Land Description \*

Complete either A or B.

**⚠** This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

<b>A</b>	Lot No.: 39	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 316386
<b>OR</b>					
<b>B</b>	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

## The Proposal

**⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

**i** For what use, development or other matter do you require a permit? \*

	Construction of a new residential single storey dwelling with attached garage. Estimated cost: \$636,000
<input checked="" type="checkbox"/> Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.	

**i** Estimated cost of any development for which the permit is required \*

Cost \$636,000	<b>⚠</b> You may be required to verify this estimate. Insert '0' if no development is proposed.
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## Existing Conditions i

### Describe how the land is used and developed now \*

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Residential Vacant

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

### Encumbrances on title \*

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Name:			
Title: Mrs	First Name: Kaeleene	Surname: Warwick	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.: 14	St. Name: Livingston Boulevard	
Suburb/Locality: Benalla		State: VIC	Postcode: 3672

Please provide at least one contact phone number \*

<b>Contact information for applicant OR contact person below</b>	
Business phone:	Email: kaeleenew@gmail.com
Mobile phone: 0403971156	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

<b>Contact person's details*</b>		Same as applicant <input checked="" type="checkbox"/>	
Name:			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:

### Owner \*


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

<b>Owner *</b>		Same as applicant <input type="checkbox"/>	
Name:			
Title: Mrs	First Name: Kaeleene	Surname: Warwick	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.: 17	St. Name: Livingston Boulevard	
Suburb/Locality: Benalla		State: VIC	Postcode: 3672
Owner's Signature (Optional): Kaeleene Warwick		Date: 08/03/2024 day / month / year	

# Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant, and that all the information in this application is true and correct, and the owner (if not myself) has been notified of the permit application.

Signature:

*Kareere Wauru*

Date: 08/03/2024

day / month / year

## Privacy consent

I give consent to my personal information disclosed in the application to be made available for public inspection, including on Council's public website, whilst the application is being determined, in accordance with Section 51 of the Planning and Environment Act 1987.

Yes  No

Signature:

*Kareere Wauru*

Date: 08/03/2024

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No  Yes

If 'Yes', with whom?:

Date:


day / month / year


## Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

Completed the relevant council planning permit checklist?

Signed the declaration above?

## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Benalla Rural City Council  
PO Box 227  
Benalla VIC 3671

Customer Service Centre  
1 Bridge Street East  
Benalla VIC 3671

### Contact information:

Phone (03) 5760 2600  
Email: [council@benalla.vic.gov.au](mailto:council@benalla.vic.gov.au)  
DX: 32230

Deliver application in person, by post or by electronic lodgement.

**DRAWING LIST**

SHEET	DRAWING NAME
00	COVER PAGE
01	COVER PAGE
01	SITE PLAN
02	LOCALITY PLAN
03	FLOOR PLAN
04	EXTERIOR ELEVATION A
05	EXTERIOR ELEVATION B
06	EXTERIOR ELEVATION B
07	SECTION A
08	DOOR & WINDOW SCHEDULE
09	INTERNAL S A
10	INTERNAL S B
11	INTERNAL S C
11	ELECTRICAL PLAN
Grand total: 17	

IMPORTANT NOTE: IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY.



**GENERAL NOTES:**

- ALL BUILDING WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING, COMPUTATIONS, DRAWINGS AND TRUSS/WALL FRAMING LAYOUTS (IF APPLICABLE).
- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE EXPRESSLY NOTIFIED BY THE AUTHOR, NO OTHER PERSON MAY USE THESE PLANS.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS DO NOT SCALE THESE DRAWINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740 AND BCA TABLE 3.8.1.1.
- STAIR CONSTRUCTION TO BE IN ACCORDANCE WITH BCA PART 3.9.1.3 & 3.9.1.4 ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING.
- BALUSTRADE CONSTRUCTION TO BE IN ACCORDANCE WITH BCA PART 3.9.2.2 & 3.9.2.3 AND MUST BE PROVIDED WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES (OTHER THAN TENSIONED WIRE) TO BE
  - 1000mm MIN ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE.
  - 850mm MIN ABOVE STAIR NOSING OR RAMP, AND
  - LESS THAN 125mm GAP BETWEEN VERTICAL MEMBERS, AND
  - WHERE CHANGE IN LEVEL EXCEEDS 4000mm ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 1500mm AND 750mm ABOVE FLOOR LEVEL MUST NOT FACILITATE CLIMBING.
- WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA THE UNDERSIDE AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1
- STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS 3500.3.
- WHERE REQUIRED MECHANICAL VENTILATION SHALL COMPLY WITH A.S. 1688.2 AND BCA.
- FIRE SEPARATION OF BUILDINGS ON BOUNDARY TO BE IN ACCORDANCE WITH BCA PART 3.7.1.
- PROVIDE CONTINUOUS CAVITY FLASHING TO WEEP HOLES TO BRICKWORK OVER AND BELOW WINDOWS @ 200 CENTRES MAX. IN ACCORDANCE WITH BCA 3.3.4.12.
- ALL GLAZING TO BE IN ACCORDANCE WITH BCA AS 1288 & AS 2047.
- WHERE ANY FOOTINGS ARE TO BE CONSTRUCTED ADJACENT TO EASEMENTS THESE FOOTINGS SHALL BE FOUND AT A DEPTH BELOW ANY ANGLE OF REPOSE FROM THE INVERT OF ANY SERVICES WITHIN THE EASEMENT (45° FOR CLAY & 30° FOR SAND).
- INTERCONNECTED SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3786 & BCA PART 3.7.2.
- DOORWAYS WITHIN 1200mm OF THE CLOSET PAN MUST OPEN OUTWARDS. SLIDE OR BE PROVIDED WITH LIFT OFF HINGES AS PER BCA FIGURE 3.8.3.3.
- SUB-FLOOR VENTILATION TO BE IN ACCORDANCE WITH BCA PART 3.4.1
- ALL STRUCTURAL TIMBER FRAMING BRACING & THE DOOWNS ARE TO BE IN ACCORDANCE WITH AS 1684 & TIMBER FRAMING MANUAL A.S. 1694 N1/N2 SUPP 12.
- BEDROOM WINDOWS TO BE RESTRICTED MAX 125mm OPENING WHERE SILL HEIGHT IS LESS THAN 1700mm ABOVE FLOOR LEVEL AND THE FALL EXCEEDS 2000mm TO THE SURFACE BENEATH IN ACCORDANCE WITH BCA 2019 PART 3.9.2.5
- SMOKE DETECTORS ARE DENOTED **(SD)** ON THE PLAN.
- WALL FRAMES TO GENERALLY BE IN ACCORDANCE WITH TABLE BELOW.
  - LOWER STOREY WALLS.
    - TOP PLATES 2 / 90 x 35 12 MGP 10
    - BOTTOM PLATES 90 x 35 12 MGP 10
    - STUDS (not notched, hoop iron brace used) 90 x 35 12 MGP 10 4500s.\*
    - JAMB STUDS & STUDS TO SIDES OF OPENINGS MIN OF 2 / 90 x 35 12 MGP 10
    - NOTE: FLOOR JOISTS ALIGNED OVER STUDS
  - SINGLE STOREY OR UPPER STOREY WALLS.
    - TOP PLATES TO EXTERNAL LOAD BEARING WALLS 90 x 35 12 MGP 10
    - BOTTOM PLATES TO EXTERNAL LOAD BEARING WALLS\* 90 x 35 12 MGP 10
    - TOP PLATES TO INTERNAL, NON-LOAD BEARING WALLS 90 x 35 12 MGP 10
    - BOTTOM PLATES TO INTERNAL, NON-LOAD BEARING WALLS 90 x 35 12 MGP 10
    - STUDS (notched for speed/brace) 90 x 35 12 MGP 10 4500s.\*
    - JAMB STUDS & STUDS TO SIDES OF OPENINGS MIN OF 2 / 90 x 35 12 MGP 10
- NOTES:
  - STUD CENTERS MAY BE DECREASED OR STRESS GRADE INCREASED WHERE LOADINGS REQUIRE.
  - RIBBON PLATE TO BE PROVIDED UNDER UPPERWALL BOTTOM PLATES TO SEPERATE UPPER AND LOWER WALLS.
  - STANDARD 6 STAR INCLUSIONS (VIC ONLY)
  - WEATHER SEAL ALL EXTERNAL DOORS
  - ALL WINDOWS TO BE ALUMINIUM IMPROVED
  - SEALS TO EXHAUST FANS
  - IC RATED LED DOWNLIGHTS (INSULATED OVER)
  - INSULATION TO ATTIC AND GARAGE CEILING
  - 2.0m WIND BIRDS TO ROOF
  - (REFER TO SECTION PAGE FOR FURTHER DETAILS)
- STANDARD BASIX INCLUSIONS (NSW ONLY)
  - SEAL ALL WINDOWS, GAPS & CRACKS
  - WEATHER SEAL ALL EXTERNAL DOORS
  - ALL WINDOWS TO BE ALUMINIUM IMPROVED
  - SEALS TO EXHAUST FANS

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

**WARNING:** The plan & design of this house is owned by Southern Vale Homes and under the copyright act of 1968 cannot be reproduced in any shape of form without prior written authorisation.

**NOTE:** Contractor shall verify job dimensions before any work commences. Figured dimensions shall take precedence over scaled work. Work shall also confirm to the specification and other drawings.

**Drawing approved by:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Client:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Should I/we decide to change the structural plan after this document is signed - I/we understand an additional \$1000 Admin/Drafting fee will be raised as a tax invoice and payable prior to changes being made.**

**PROPOSED NEW RESIDENCE**  
**CLIENT: MICK & KAELEENE WARWICK**  
**ADDRESS: LOT 39, 55 LAKESIDE DRIVE,**  
**CHESNEY VALE, VIC**  
**Date:** 07/05/24  
**Drawn by:** JF  
**Checked by:** ELDANE  
**COVER PAGE**

**Project No:** R03-0123  
**Inclusions:** SIGNATURE  
**Scale: (A3)** As Indicated  
**Revision No.** P01

**Issue:** PRELIMINARY  
**Drawing No.** 00

**SOUTHERN VALE**  
 1/1A MODREFIELD PARK DRIVE, WOODONGA, VICTORIA 3699  
 Ph: (02)9051 5000 Fax: (02)9051 5001  
 Vic Lic No. CDB-U-52000 NSW Lic No. 259700C A.B.N. 89 150 500 557  
 www.southernvale.com.au

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND SERVICES REPORTS. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.

**SERVICES LEGEND**

- ST STORMWATER
- SW SEWER
- E ELECTRICAL
- T TELSTRA
- G GAS
- W WATER
- H HYDRANT
- P POWER POLE

**CUT & FILL LEGEND**

- CUT
- FILL
- RETAINING WALL
- DROPPED EDGE BEAM

**AREA ANALYSIS:**  
 SITE AREA = 12,024.75m<sup>2</sup>  
 PROPOSED SITE COVERAGE = m<sup>2</sup> OR %  
 PROPOSED PERMEABLE = m<sup>2</sup> OR %

**BUSHFIRE ZONE LEVEL:** (TBC)

**PROPERTY (NOT) WITHIN A DESIGNATED BUSHFIRE AREA**  
 ALTHOUGH ASSESSMENT IS BAL-LOW, MINIMUM ASSESSMENT IS BAL 12.5  
 ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

**SITE NOTE:**  
 ELECTRICITY, GAS, TELEPHONE, WATER, STORMWATER & SEWER SERVICES ARE TO BE DETERMINED ON SITE & CONNECTED AS PER LOCAL AUTHORITY REQUIREMENTS.  
 ALL SERVICE LINES & PIPES ARE APPROX. ONLY. CONNECTION POINT TO SERVICES TO BE DETERMINED ON SITE BY RELEVANT CONTRACTOR PRIOR TO COMMENCING OF WORKS

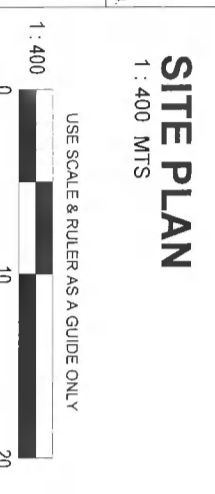
**(IF WATER TANK IS REQUIRED)**  
 MINIMUM OF 60SQM OF ROOF CATCHMENT TO WATER TANK. WATER TANK CONNECTED TO ALL TOILETS  
**DRAINAGE AND STORMWATER NOTES:**  
 ALL DRAINS SHALL RUN TO THE LEGAL POINT OF DISCHARGE AND SHALL CONFORM TO LOCAL COUNCIL REQUIREMENTS AND THE BUILDING CODE OF AUSTRALIA.  
 - MINIMUM 90mm Ø UPVC STORMWATER PIPES  
 - DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES  
 - STORMWATER PIPES TO BE MIN. 600MM AWAY FROM BUILDING.  
 IF SITE IS GREATER THAN 300MM RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER

WHERE RETAINING WALL ARE REQUIRED/PROVIDED AS DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS.  
 PROVIDE CUT TOE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AWAY FROM THE BUILDING DURING CONSTRUCTION.  
 GRADE SURFACE AWAY FROM FOOTINGS AT 1:20 MIN. FALL  
 SITE DRAINAGE SHALL COMPLY WITH 3.1.2 DRAINAGE AND AS 3500 PLUMBING & DRAINAGE CODE

**WIND SPEED ASSESSMENT:**  
 MAXIMUM DESIGN GUST WIND SPEED (REFER TO SOIL REPORT) STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM GUST SPEED OF 33m/s  
**GARDEN AREA NOTES:**  
 GARDEN AREA DOES NOT INCLUDE A DRIVEWAY. ANY AREA SET ASIDE FOR A CAR PARKING. ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METRE.  
**DRIVEWAY NOTES:**  
 DRIVEWAY GRADIENT MUST IN COMPLIANCE WITH AS2890.1:2004

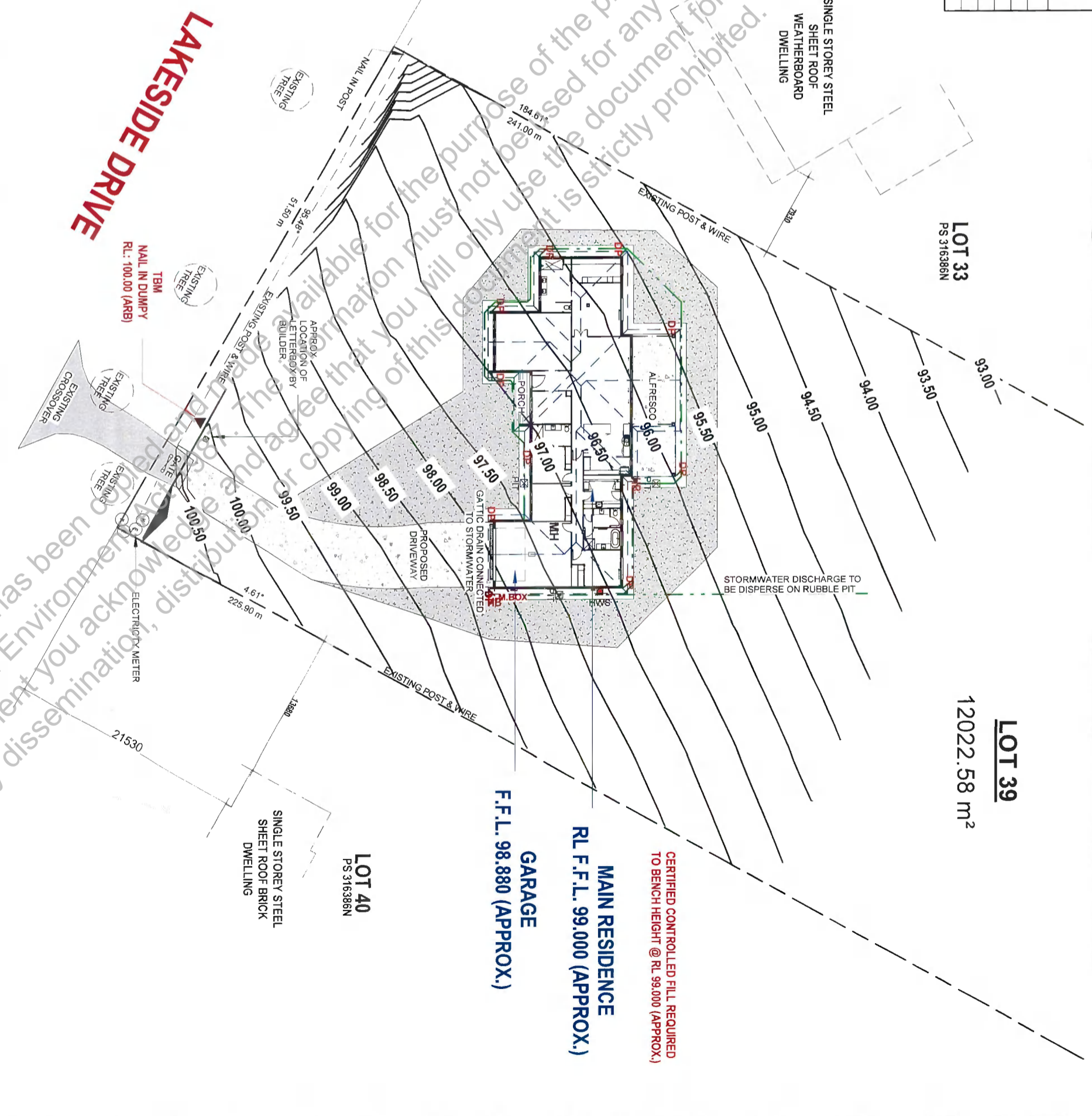
**CLIENTS:**  
 I/WE THE CLIENT UNDERSTAND THE FULL EXTENT OF SITE WORKS REQUIRED & DISPLAYED ON THESE PLANS.  
 SIGNED: ..... DATE: .....

EXTERNAL PAVING		
NAME	AREA m <sup>2</sup>	
CLOTHESLINE PAD AREA	3.75 m <sup>2</sup>	
CROSSOVER AREA - TBC	0.00 m <sup>2</sup>	
DRIVEWAY AREA - TBC	164.19 m <sup>2</sup>	
HMS PAD AREA	0.36 m <sup>2</sup>	
<b>Grand Total: 4</b>	<b>168.30 m<sup>2</sup></b>	



**SITE PLAN**  
 1 : 400 MTS

USE SCALE & RULER AS A GUIDE ONLY



**LOT 33**  
 PS 316386N

**LOT 39**  
 12022.58 m<sup>2</sup>

**MAIN RESIDENCE**  
 RL F.F.L. 99.000 (APPROX.)

**GARAGE**  
 F.F.L. 98.880 (APPROX.)

**LOT 40**  
 PS 316386N

**SINGLE STOREY STEEL SHEET ROOF BRICK DWELLING**

**LAKESSIDE DRIVE**  
 TBM  
 NAIL IN DUMPY  
 RL: 100.00 (ARB)

**PROPOSED NEW RESIDENCE**

**CLIENT:** MICK & KAELEENE WARWICK

**ADDRESS:** LOT 39, 55 LAKESSIDE DRIVE, CHESNEY VALE, VIC

**Date:** 07/05/24

**Drawn by:** JF

**Checked by:** ELDANE



1/1A MOOREFIELD PARK DRIVE, WOODONGA, VICTORIA 3699

Ph: (02)9051 5000 Fax: (02)9051 5001

Vic Lic No. CDB-U-52000 NSW Lic No. 259700C ABN: 89 150 500 557

www.southernhome.com.au

**Project No:** R03-0123

**Inclusions:** SIGNATURE

**Scale:** (A3)

**As Indicated**

**Issue:** PRELIMINARY

**Drawing No.** 01

**Revision No.** P01

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND SERVICES REPORTS. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.



Revision	Description	Floor Plan Type:	Date
P01	P01 REQUEST		07/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

**WARNING:** The plan & design of this house is owned by Southern Vale Homes and under the copyright act of 1988 cannot be reproduced in any shape or form without prior written authorisation.  
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**Should I/we decide to change the structural plan after this document is signed - I/we understand an additional \$1000 Admin/Drafting fee will be raised as a tax invoice and payable prior to changes being made.**

**CLIENT:** MICK & KAELEENE WARWICK  
**ADDRESS:** LOT 39, 55 LAKESSIDE DRIVE, CHESNEY VALE, VIC  
**Date:** 07/05/24  
**Drawn by:** JF  
**Checked by:** ELDANE

**SOUTHERN HOME**  
 1/1A MOOREFIELD PARK DRIVE, WOODONGA, VICTORIA 3699  
 Ph: (02)9051 5000 Fax: (02)9051 5001  
 Vic Lic No. CDB-U-52000 NSW Lic No. 259700C ABN: 89 150 500 557  
 www.southernhome.com.au

**Project No:** R03-0123  
**Inclusions:** SIGNATURE  
**Scale:** (A3)  
**As Indicated**  
**Issue:** PRELIMINARY  
**Drawing No.** 01  
**Revision No.** P01

**SERVICES LEGEND**

- ST STORMWATER
- SW SEWER
- E ELECTRICAL
- T TELSTRA
- G GAS
- W WATER
- H HYDRANT
- P POWER POLE

**CUT & FILL LEGEND**

- CUT
- RETAINING WALL
- FILL
- DROPPED EDGE BEAM

AREA ANALYSIS:  
 SITE AREA = 12021.75m<sup>2</sup>  
 PROPOSED SITE COVERAGE = 5409.79m<sup>2</sup> OR 45%  
 PROPOSED PERMEABLE = 6611.96m<sup>2</sup> OR 55%

**BUSHFIRE ASSESSMENT:**

PROPERTY (NOT) WITHIN A DESIGNATED BUSHFIRE AREA.  
 ALTHOUGH ASSESSMENT IS BAL-LOW, MINIMUM ASSESSMENT IS BAL-12.5  
 ALL HOMES TO COMPLY WITH AS 3999-2018 (BAL)

**SITE NOTE:**

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**DRAINAGE AND STORMWATER NOTES:**

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 - DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES.  
 - STORMWATER PIPES TO BE MIN. 600MM AWAY FROM BUILDING.  
 IF SITE IS GREATER THAN 300MM RISER PIPER ARE TO BE PROVIDED AND CONNECTED TO STORMWATER.

WHERE RETAINING WALL ARE REQUIRED/PROVIDED AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS.

PROVIDE CUT TOE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AWAY FROM THE BUILDING DURING CONSTRUCTION.

GRADE SURFACE AWAY FROM FOOTINGS AT 1:20 MIN. FALL.  
 SITE DRAINAGE SHALL COMPLY WITH 3.1.2 DRAINAGE AND AS 3600 PLUMBING & DRAINAGE CODE.

**WIND SPEED ASSESSMENT:**

MAXIMUM DESIGN GUST WIND SPEED (REFER TO SOIL REPORT) STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM GUST SPEED OF 33m/s

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CLIENTS:  
 I/WE THE CLIENT UNDERSTAND THE FULL EXTENT OF SITE WORKS REQUIRED & DISPLAYED ON THESE PLANS.  
 SIGNED:..... DATE:.....

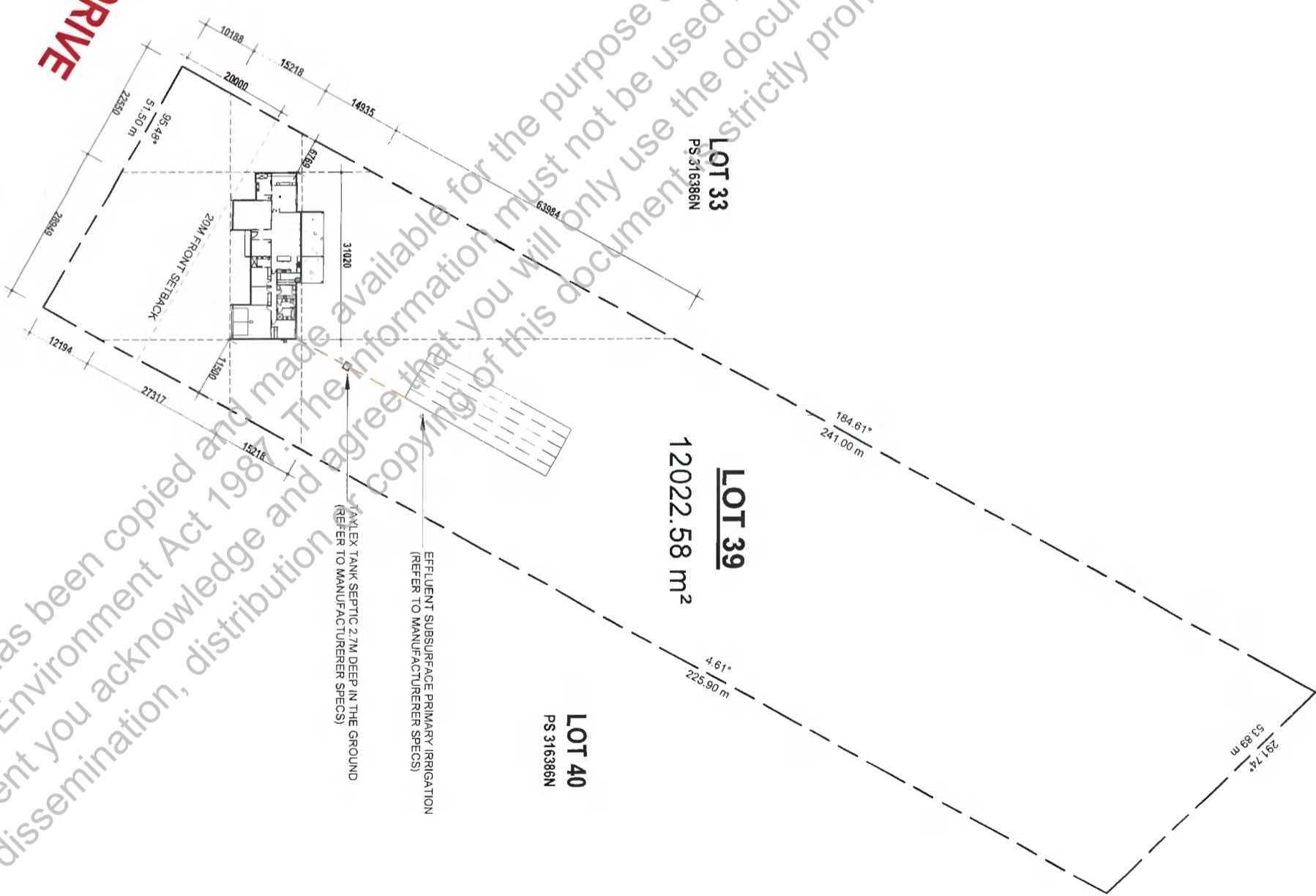
Revision Description Floor Plan Type: Date

Revision	Description	Floor Plan Type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24



**LOCALITY PLAN**

1 : 1000 QUITS



NOTE: STORMWATER DISCHARGE TO BE DISPERSE ON SITE

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**PROPOSED NEW RESIDENCE**  
 CLIENT: MICK & KAELEENE WARWICK  
 ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
 Date: 07/05/24  
 Drawn by: JF  
 Checked by: ELDANE

**SOOT HERM**  
 1/1A MUDGEFIELD PARK DRIVE, WODONGA, VICTORIA 3690  
 Vic Lic No. CDB-452000 NSW Lic No. 259700C ABN 89 150 500 557  
 PH: (02)9505 5000 FAX: (02)9505 5001  
 www.sootherm.com.au

Project No: R03-0123  
 Inclusions: SIGNATURE  
 Scale: (A3)  
 Issue: PRELIMINARY  
 Drawing No. 02  
 Revision No. P01

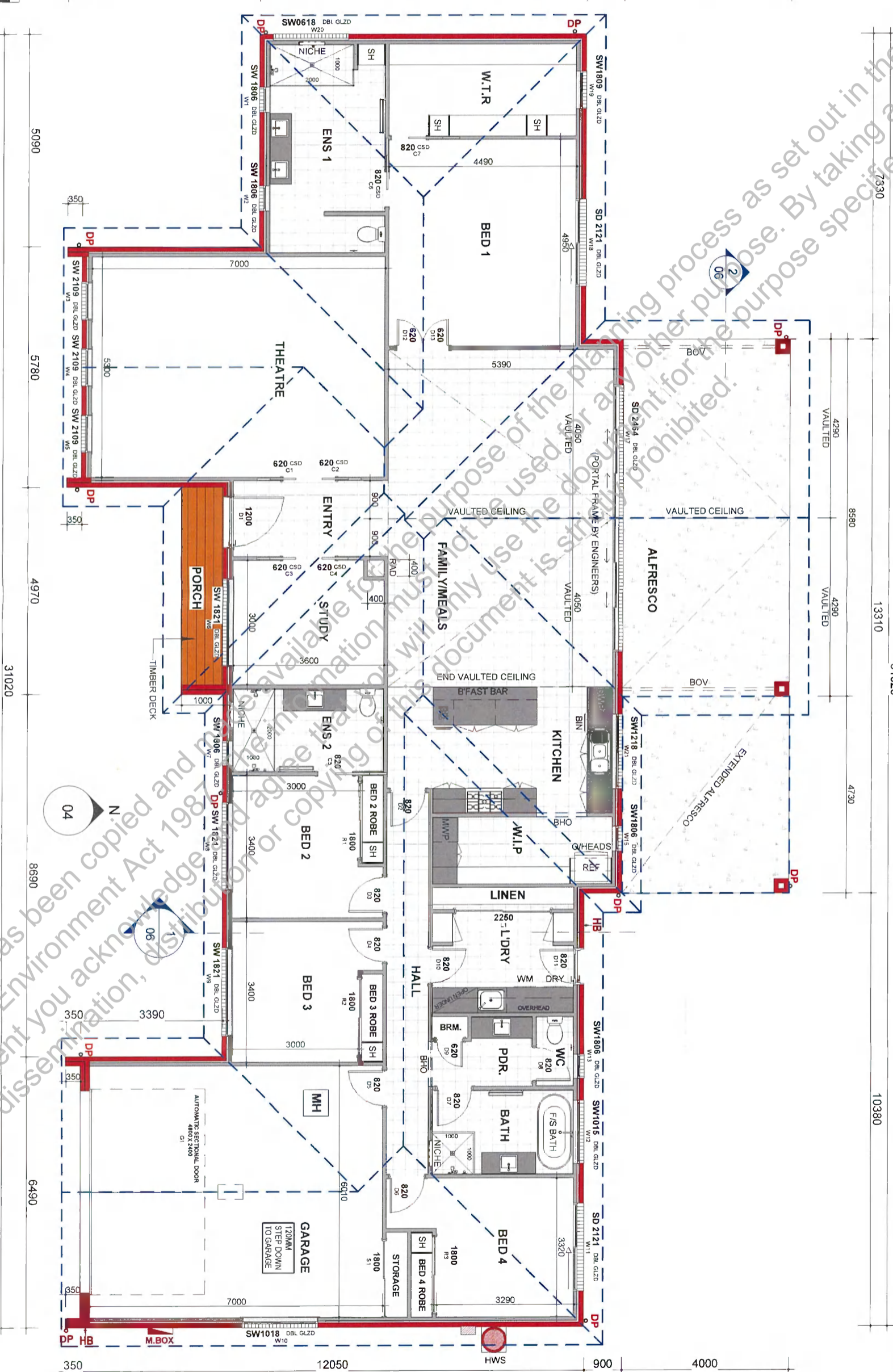
LEGEND	DESCRIPTION
DP	SELECTED COLORBOND DOWN PIPE
BOV	BEAM OVER
BRH	BRICK BULKHEAD OVER
SR	STORMWATER RISER
M.BOX	BASE OF ELECTRICAL METERBOX TO BE 1115MM (13 BRICK COURSES) ABOVE G.F.L.
GAS	GAS METER
HWS	HOT WATER SERVICE
HB	HOSE BIB WITH STORMWATER PIT
BHO	BULKHEAD OVER (2250MM HIGH)

FLOOR FINISHES	NAME	AREA
CARPET		37.10 m <sup>2</sup>
THEATRE		12.36 m <sup>2</sup>
BED 4		12.36 m <sup>2</sup>
BED 2		10.92 m <sup>2</sup>
BED 3		10.92 m <sup>2</sup>
BED 1		22.23 m <sup>2</sup>
W.T.R		9.88 m <sup>2</sup>
BED 4 ROBE		1.04 m <sup>2</sup>
BED 3 ROBE		1.08 m <sup>2</sup>
BED 2 ROBE		1.08 m <sup>2</sup>
STUDY		10.56 m <sup>2</sup>
DRY TILE		117.15 m <sup>2</sup>
W.I.P		6.88 m <sup>2</sup>
FAMIL YMEALS		43.66 m <sup>2</sup>
LINEN		1.73 m <sup>2</sup>
ENTRY		6.64 m <sup>2</sup>
KITCHEN		15.73 m <sup>2</sup>
HALL		9.17 m <sup>2</sup>
WET TILE		83.82 m <sup>2</sup>
WC		1.47 m <sup>2</sup>
BATH		6.65 m <sup>2</sup>
ENS 1		13.34 m <sup>2</sup>
ENS 2		7.05 m <sup>2</sup>
PDR.		3.52 m <sup>2</sup>
L.DRY		7.98 m <sup>2</sup>
		40.02 m <sup>2</sup>

**NOTE:**  
 ALL DIMENSIONS ARE TO FACE OF STUD WALL AND BRICKWORK ONLY AND EXCLUDE CLADDING.  
 WHERE POSSIBLE, ALL DOOR STUDS TO BE 120MM MIN FORM CORNER JOINTS.  
 MANHOLE LOCATION IS APPROX. ONLY EXACT POSITION WILL DEPEND ON TRUSS LAYOUT.  
 ALL ADJOINING BEAMS ARE TO BE OF THE SAME WIDTH AND DEPTH.  
 ALL EXPOSED TIMBER BEAMS ARE TO BE DRESSED KD OR PAINTED.  
 FULL HEIGHT TILING TO BATHROOM AND ENSUITE.

# FLOOR PLAN

1 : 100 MTS



GROSS BUILDING			
NAME	AREA	SQUARES	
ALFRESCO AREA	53.24 m <sup>2</sup>	5.73	
GARAGE AREA	47.52 m <sup>2</sup>	5.12	
LIVING AREA	270.79 m <sup>2</sup>	29.15	
PORCH AREA (TIMBER DECK)	4.98 m <sup>2</sup>	0.54	
<b>GRAND TOTAL: 4</b>	<b>376.53 m<sup>2</sup></b>	<b>40.53</b>	

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**PROPOSED NEW RESIDENCE**  
 CLIENT: MICK & KAELEENE WARWICK  
 ADDRESS: LOT 39, 55 LAKESIDE DRIVE,  
 CHESNEY VALE, VIC  
 Date: 07/05/24  
 Drawn by: JF  
 Checked by: ELDANE

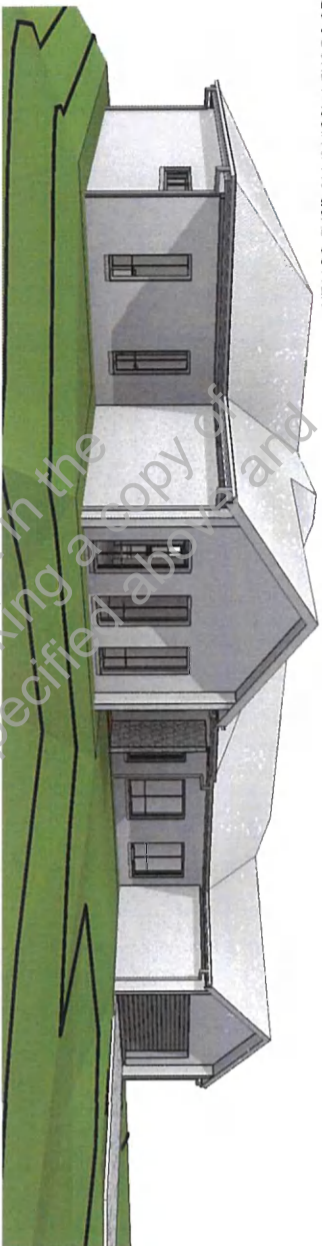
Revision: P01  
 Description: PARALLEL TRUSS & ROOF TRUSS UPDATED  
 Date: 07/05/24  
 Floor plan type:

Project No: R03-0123  
 Issue: PRELIMINARY  
 Inclusions: SIGNATURE  
 Scale: (A3)  
 As Indicated

1/1A MOOREFIELD PARK DRIVE, WOODONGA, VICTORIA 3690  
 PH: (02)8051 5000 FAX: (02)8051 5001  
 Vic Lic No. CDB-4152000 NSM/Lic No. 259700C ABN 89 150 500 557  
 www.southernvale.com.au

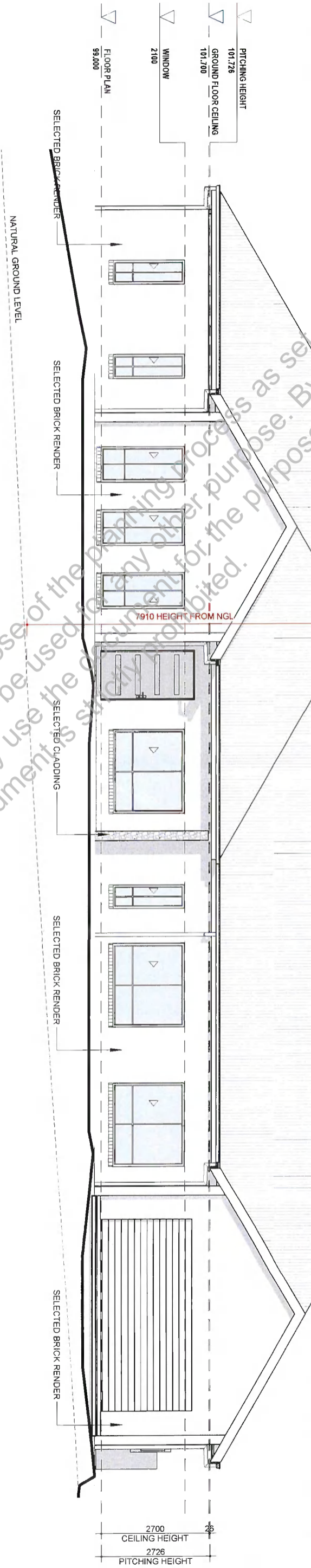
**SOUTHERN VALE**





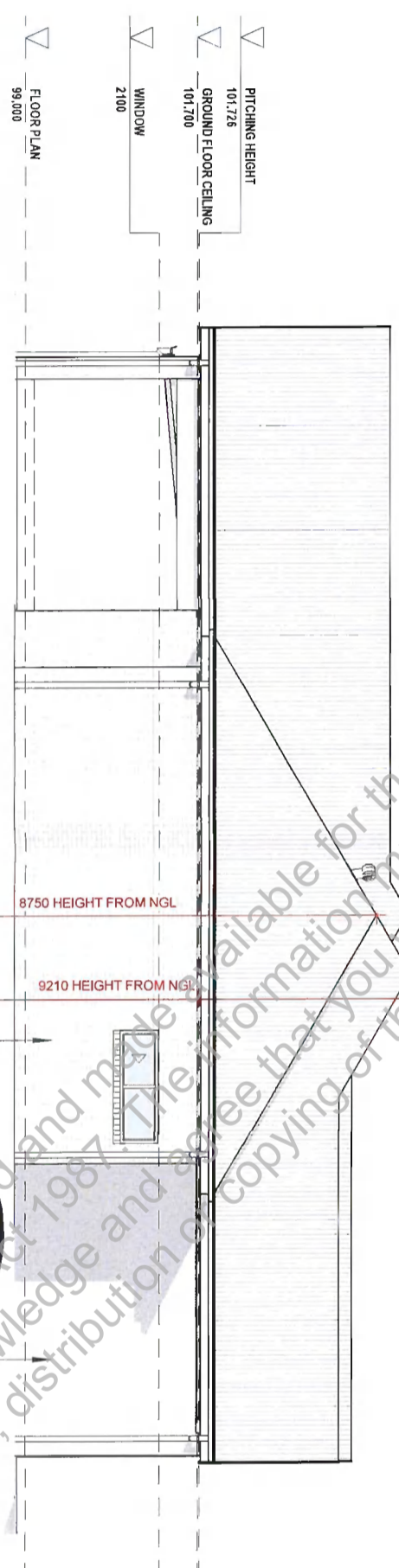
### FRONT VIEW 1

### FRONT VIEW 2



### N NORTH ELEVATION

1 : 100 MTS



### E EAST ELEVATION

1 : 100 MTS

BEDROOM WINDOWS TO BE RESTRICTED TO MAX 125mm OPENINGS WHERE THE SILL HEIGHT IS LESS THAN 1700mm ABOVE FFL AND THE FALL EXCEEDS 2M TO THE SURFACE BENEATH IN ACCORDANCE WITH 39.2.5 OF BCA VOL. 2

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PROPOSED NEW RESIDENCE  
CLIENT: MICK & KAELEENE WARWICK  
ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
Date: 07/05/24  
Drawn by: JF  
Checked by: ELDANE



Project No: R03-0123  
Issue: PRELIMINARY  
Inclusions: SIGNATURE  
Scale: (A3)  
Revision No. P01

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

Should I/we decide to change the structural plan after this document is signed - I/we understand an additional \$1000 Admin/Drafting fee will be raised as a tax invoice and payable prior to changes being made.

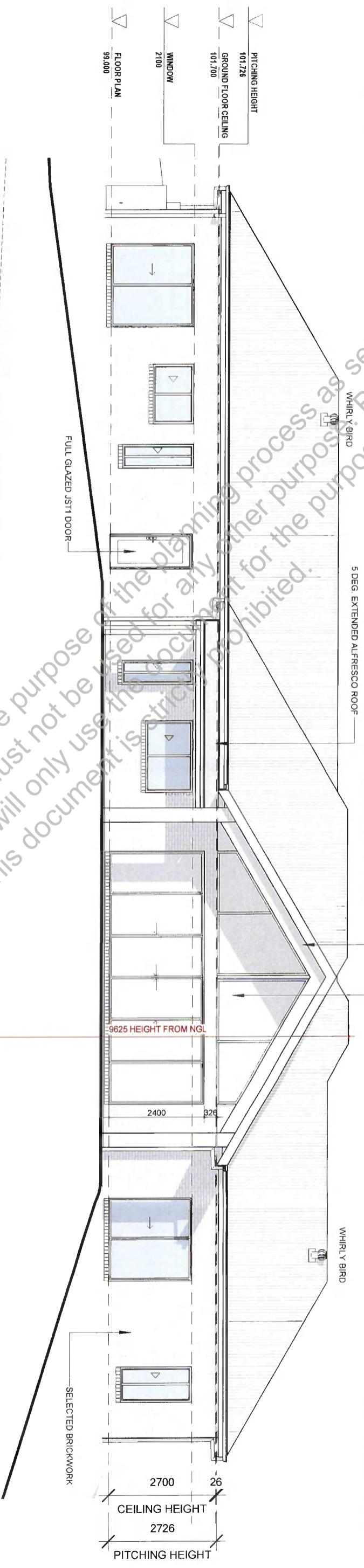
1/1A MOOREFIELD PARK DRIVE, WOODONSA, VICTORIA 3690  
PH: (02)9054 6000 FAX: (02)9054 5001  
VIC Lic No: CDB-U-53000 NSW Lic No: 259700C ABN: 89 150 500 557  
www.southernvale.com.au

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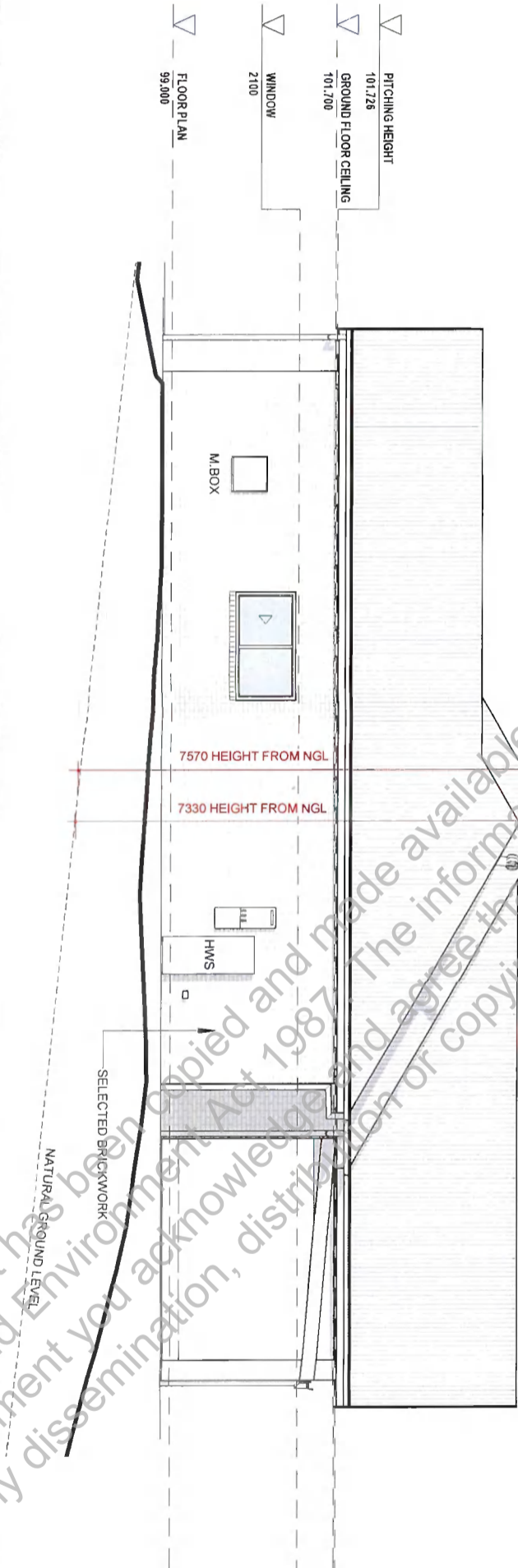
REAR VIEW 1

REAR VIEW 2



S SOUTH ELEVATION  
1 : 100 MTS

W WEST ELEVATION  
1 : 100 MTS



BEDROOM WINDOWS TO BE RESTRICTED TO MAX 125mm OPENINGS WHERE THE SILL HEIGHT IS LESS THAN 1700mm ABOVE FFL AND THE FALL EXCEEDS 2M TO THE SURFACE BENEATH IN ACCORDANCE WITH 39.2.5 OF BCA VOL. 2

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

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Check	Date	Check	Date

**PROPOSED NEW RESIDENCE**  
CLIENT: MICK & KAELEENE WARWICK  
ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
Date: 07/05/24  
Drawn by: JF  
Checked by: ELDANE

**SOUTHERN VALE**  
1/1A MOONSFIELD PARK DRIVE, WOODONGA, VICTORIA 3690  
PH: (02)6051 5000 FAX: (02)6051 5001  
VIC Lic No. CDB-4152000 NSW Lic No. 259700C A.B.N. 89 150 500 557  
www.southernvale.com.au

Project No:	R03-0123	Issue:	PRELIMINARY
Inclusions:	SIGNATURE	Drawing No.	05
Scale: (A3)	As Indicated	Revision No.	P01

- ROOF**
- COLORBOND STEEL ROOFING
  - COLORBOND GUTTERING FALL @ 1:400 TO SELECTED DOWNPIPES
  - COLORBOND FASCIA
  - METAL TOP HAT BATTENS @ 900 c/c MAX
  - METAL LIP HAT BATTENS @ 450mm MAX CENTRES.
  - INSTALL SARKING UNDER ALL COLORBOND ROOFS WITH CEILING
  - ROOF TRUSSES @ 900 c/c. REFER TO MANUFACTURERS SPECIFICATIONS FOR DESIGN LAYOUT AND DETAILS

- R 4.1 BATT INSULATION TO CEILING INCLUDING GARAGE & ALFRESCO
- METAL CEILING BATTENS @ 450 c/c
- 10mm PLASTERBOARD ON METAL BATTENS @ 450mm MAX CENTRES.
- FIBRE CEMENT SHEET TO EAVES & SOFFIT.

- WALLS**
- SELECTED WEATHERBOARD ALL EXTERNAL WALLS
  - WEED HOLES EVERY 4M PERP
  - EXPOSED BRICKWORK ABOVE UNPROTECTED WINDOWS AND DOORWAYS GREATER THAN 1200mm
  - WIDE TO BE PROTECTED WITH HEAD FLASHING AND WEEPHOLES IN ACCORDANCE WITH AS4773.2-2015
  - DAMP-PROOF COURSE AND WEEPHOLES TO BE INSTALLED IN ACCORDANCE WITH AS4773.2-2015

- PREFABRICATED WALLS TO BE USED. REFER TO MANUFACTURERS FOR DESIGN SPECIFICATIONS AND LAYOUT - 2400mm
- EXTERNAL WALL PITCHING HEIGHT
- R 2.0 BATT INSULATION BATS AND FIRE RATED SIGA LATION TO EXT. WALL BETWEEN GARAGE AND RESIDENCE
- R 0.9 SISALATION ALL OPENINGS AND PENETRATIONS TO BE TAPERED
- 10mm PLASTERBOARD INTERNAL LINING
- SELECTED PLASTER CORNICE
- GALVANISED STEEL LINTELS TO SUPPORT BRICKWORK OVER WINDOWS/EXTERNAL DOORS
- 12 MGP10 FINE STUD WALL FRAME @ 1350MM CTS FOR EXT. AND 450MM FOR INTERNAL WALLS

- FLOOR**
- CONCRETE SLAB AS PER ENGINEERS DESIGN & SPECIFICATIONS
  - FOUNDATION AS PER ENGINEERS SOIL REPORT
  - TERMITTE PROTECTION AS PER A.S. 3660.1:2014
  - DAMPROOFING MEMBRANE & FLASHING

**GENERAL NOTES**

STANDARDS  
 SYM BUILDERS SHALL ENSURE THE BUILDING COMPLES WITH THE FOLLOWING REGULATIONS AND STANDARD BUILDING CODE AUSTRALIA  
 AS 1288 GLAZING CODE AS 1684 TIMBER FRAMING AS 2870 SLABS AND FOOTINGS AS 3660 TERMITTE CODE AS 1982 ROOFING AS 3500 PLUMBING CODE AS 3000 ELECTRICAL AS 3700 MASONRY CODE AND ALL OTHER STANDARDS NOMINATED IN THE BCA.

MASONRY  
 INCORPORATE CONTROL JOINTS (OR FULL HEIGHT OPENING) IN ALL MASONRY WALLS AT A MAX OF 4.5M CTS. LOCATE ADDITIONAL JOINTS IN MASONRY DIRECTLY OVER JOINTS IN FOOTINGS WHICH ARE DIFFERENT TYPES.  
 EG. AT HOUSEGARAGE.

FLOOR TILING  
 MINOR CRACKS SHALL INEVITABLY OCCUR IN MOST SLABS IN ORDER TO MINIMISE ANY DAMAGE TO FLOOR TILES AS A RESULT OF FLOOR CRACKING. A FLEXIBLE ADHESIVE SHALL BE USED.

SMOKE DETECTOR  
 SMOKE DETECTORS ARE DENOTED **(SD)** ON THE PLAN. THESE SHALL BE INSTALLED AS PER AS 3788.

DRAINS  
 PIPING TRENCHED RUNNING PARALLEL WITH THE BUILDING SHOULD BE LOCATED AT AN OFFSET FROM THE FOOTING EQUAL TO THE DEPTH.

WALL CONSTRUCTION  
 12 MGP10 FINE STUD WALL FRAME STUDS AT 450MM CTS FOR EXTERNAL AND 450MM CTS FOR INTERNAL WALLS WITH 235 X 90MM 12 MGP10 TOP AND BOTTOM PLATES TO LOAD BEARING WALLS. AND USE 290 X 35MM JAMB STUDS.

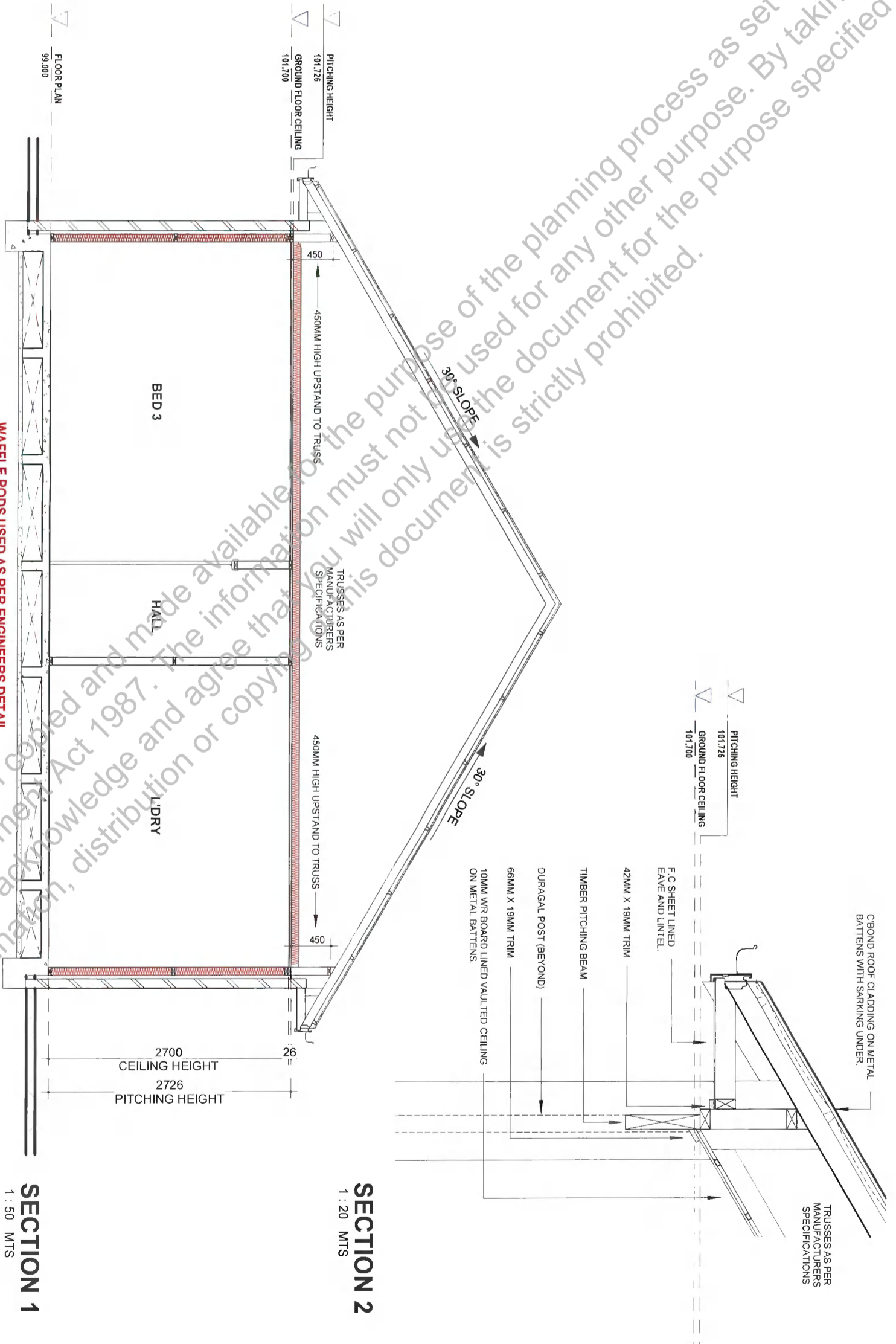
ALL FRAMING TO BE TERMITTE RESISTANT T2. BRACE WALLS WITH APPROVED SHEET BRACES. ALL WALL FRAMING SHALL COMPLY WITH A.S. 1684. NOGGINGS @ 1350MM CTS MAX.

FLOOR CONSTRUCTION  
 CONCRETE SLAB & FOOTINGS TO ENGINEERING DETAILS. TERMITTE PROTECTION SHALL COMPLY WITH A.S. 3660

ROOF CONSTRUCTION  
 COLORBOND ROOFING PITCHED AT 23 DEG. WITH METAL TOP HATS @ 900MM CTS. SYM TO REFER TO TRUSS FABRICATORS DETAILS FOR LAYOUT AND COMPUTATIONS.

ALL ROOFING FRAMING SHALL COMPLY WITH A.S. 1684. PRE-FABTIMBER ROOF TRUSSES @ 900MM CTS. TRUSS DESIGN LAYOUT AND FIXING DETAIL TO MANUFACTURER SPEC.

TERMITTE CONSTRUCTION  
 TREAT BUILDING FOR TERMITES AS PER A.S. 3660. USE TERMITTE RESISTANT T2 FRAMING THROUGHOUT AND SPRAY



WAFFLE PODS USED AS PER ENGINEERS DETAIL

**SECTION 2**  
1 : 20 MTS

**SECTION 1**  
1 : 50 MTS

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

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Client	Date	Drawing approved by	Date

**PROPOSED NEW RESIDENCE**  
 CLIENT: MICK & KAELEENE WARWICK  
 ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
 Date: 07/05/24  
 Drawn by: JF  
 Checked by: ELDANE

**SOOT HERM**  
 1/1A MOONFIELD PARK DRIVE, WOODONGA, VICTORIA 3590  
 PH: (02)9505 5000 FAX: (02)9505 5001  
 NSW Lic No. 259700C A.B.N. 99 150 500 557  
 www.southernvale.com.au

Project No:	R03-0123	Issue:	PRELIMINARY
Inclusions:	SIGNATURE	Drawing No.	06
Scale: (A3)	As Indicated	Revision No.	P01

WINDOW SCHEDULE

NUMBER	HEIGHT	WIDTH	WINDOW TYPE	GLASS	COMMENTS
W1	1800	600	SLIDING	DBL GLZD	
W2	1800	600	SLIDING	DBL GLZD	
W3	2100	900	SLIDING	DBL GLZD	
W4	2100	900	SLIDING	DBL GLZD	
W5	2100	900	SLIDING	DBL GLZD	
W6	1800	2100	SLIDING	DBL GLZD	
W7	1800	600	SLIDING	DBL GLZD	
W8	1800	2100	SLIDING	DBL GLZD	
W9	1800	2100	SLIDING	DBL GLZD	
W10	1000	1800	SLIDING	DBL GLZD	
W11	2100	2100	SLIDING DOOR	DBL GLZD	
W12	1030	1500	SLIDING	DBL GLZD	
W13	1800	600	SLIDING	DBL GLZD	
W15	1800	600	SLIDING	DBL GLZD	
W17	2400	6400	SLIDING DOOR	DBL GLZD	
W18	2100	2100	SLIDING DOOR	DBL GLZD	
W19	1800	900	SLIDING	DBL GLZD	
W20	600	1800	SLIDING	DBL GLZD	
W21	1200	1810	SLIDING	DBL GLZD	

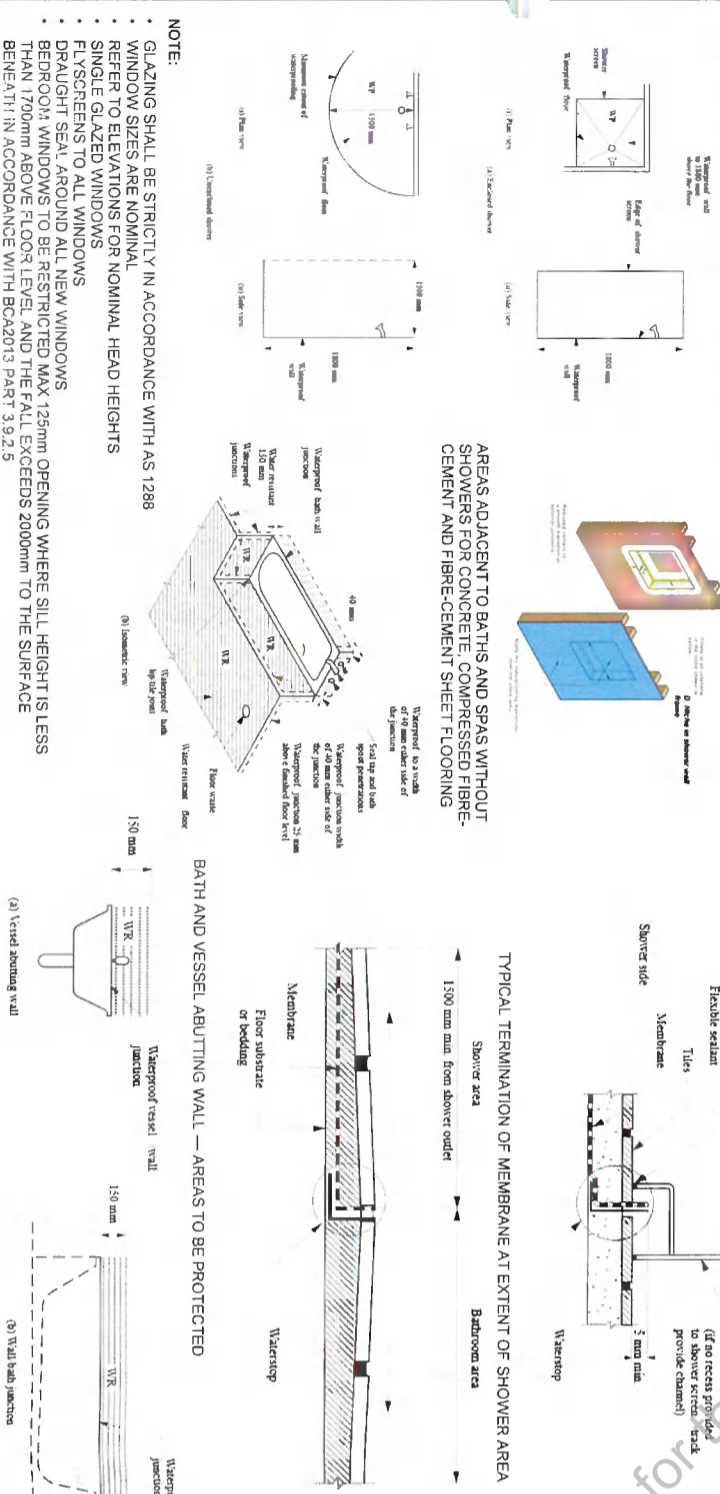
DOOR SCHEDULE

NUMBER	HEIGHT	WIDTH	DESCRIPTION	COMMENTS
C1	2040	620	SELECTED INTERNAL CSD	
C2	2040	620	SELECTED INTERNAL CSD	
C3	2040	620	SELECTED INTERNAL CSD	
C4	2040	620	SELECTED INTERNAL CSD	
C5	2040	620	SELECTED INTERNAL CSD	
C6	2040	620	SELECTED INTERNAL CSD	
C7	2040	620	SELECTED INTERNAL CSD	
D1	2340	1200	SELECTED INTERNAL DOOR	
D2	2040	820	SELECTED INTERNAL DOOR	
D3	2040	820	SELECTED INTERNAL DOOR	
D4	2040	820	SELECTED INTERNAL DOOR	
D6	2040	820	SELECTED INTERNAL DOOR	
D7	2040	820	SELECTED INTERNAL DOOR	
D8	2040	820	SELECTED INTERNAL DOOR	
D9	2040	620	SELECTED INTERNAL DOOR	
D10	2040	820	SELECTED INTERNAL DOOR	
D11	2040	820	JUST 1 FULL GLAZED DOOR	
D12	2040	620	SELECTED INTERNAL DOOR	
D13	2040	620	SELECTED INTERNAL DOOR	
G1	2400	4800	SELECTED GARAGE DOOR	
L1	2100	2250	SELECTED ROBE DOOR	
R1	2100	1800	SELECTED ROBE DOOR	
R2	2100	1800	SELECTED ROBE DOOR	
R3	2100	1800	SELECTED ROBE DOOR	
S1	2100	1800	SELECTED ROBE DOOR	

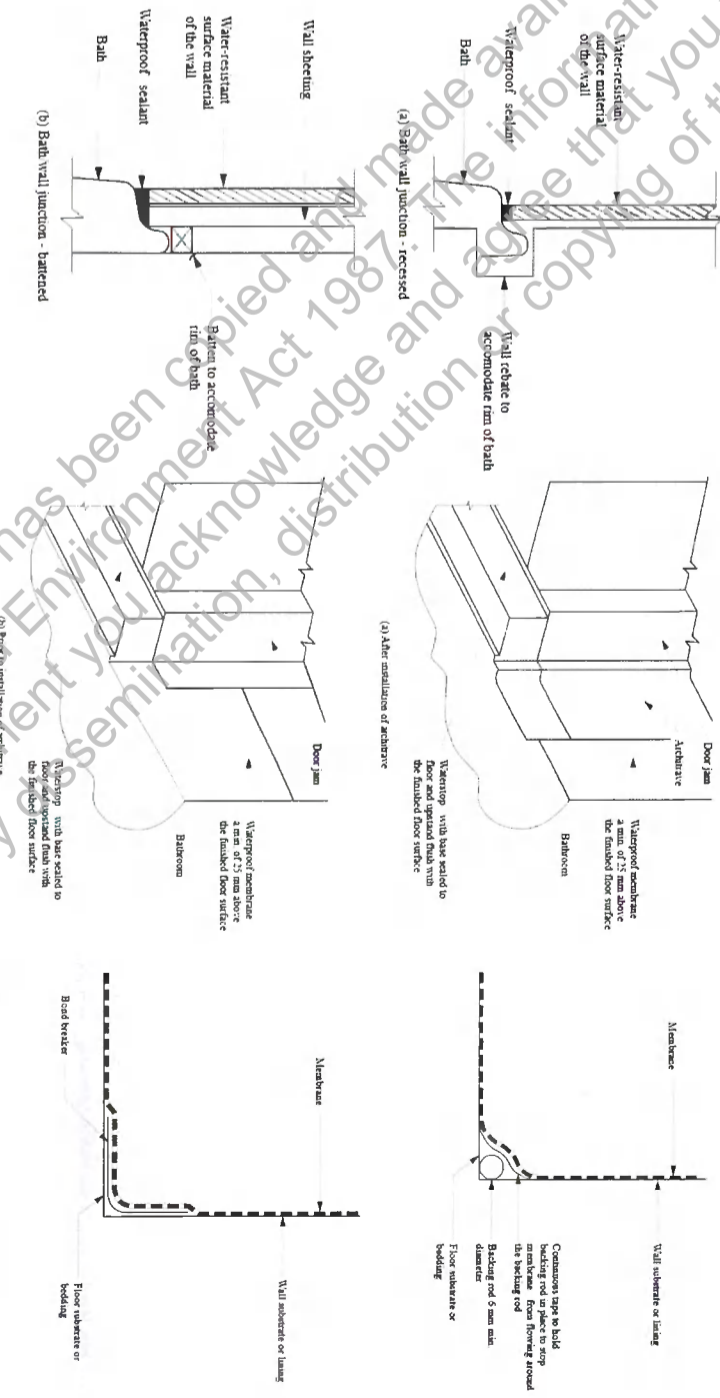
WATERPROOFING DETAILS

THE DETAILS BELOW ARE IN REFERENCE TO THE NATIONAL CONSTRUCTION CODE 2022 - ABCB HOUSING PROVISIONS SECTION.  
 (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.  
 (2) THE WATERPROOFING SYSTEM IN (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

EXTENT OF TREATMENT FOR SHOWER AREAS — CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS  
 NICHE IN SHOWER FRAMEWORK AS PER ASS740/2021 4.12.4



TYPICAL BATH JUNCTIONS



NOTE:

- GLAZING SHALL BE STRICTLY IN ACCORDANCE WITH AS 1288
- WINDOW SIZES ARE NOMINAL
- REFER TO ELEVATIONS FOR NOMINAL HEAD HEIGHTS
- SINGLE GLAZED WINDOWS
- FLYSCREENS TO ALL WINDOWS
- DRAUGHT SEAL AROUND ALL NEW WINDOWS
- BEFORE ROOM WINDOWS TO BE RESTRICTED MAX 125mm OPENING WHERE SILL HEIGHT IS LESS THAN 1700mm ABOVE FLOOR LEVEL, AND THE FALL EXCEEDS 2000mm TO THE SURFACE
- BENEFIT IN ACCORDANCE WITH BCA2013 PART 3.9.2.5

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST	PARALLEL TRUSS & ROOF TRUSS UPDATED	07/05/24

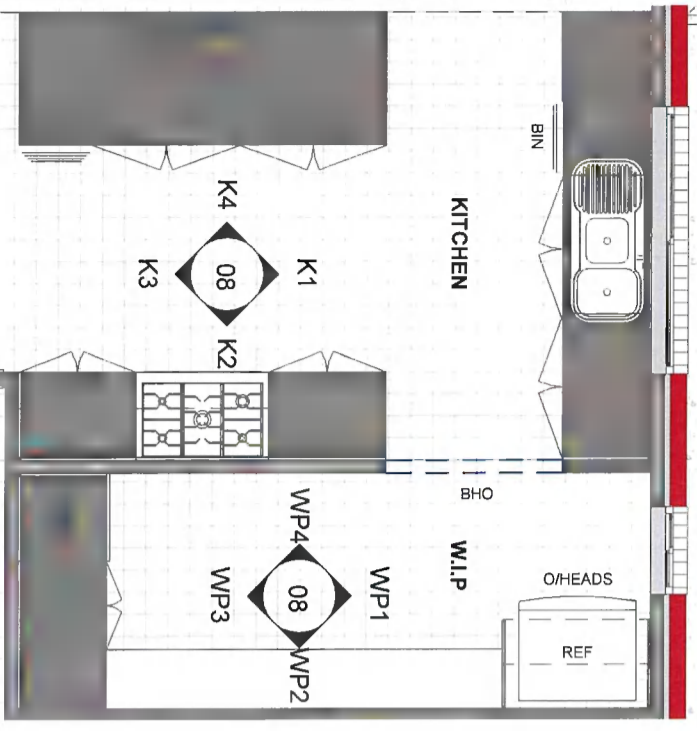
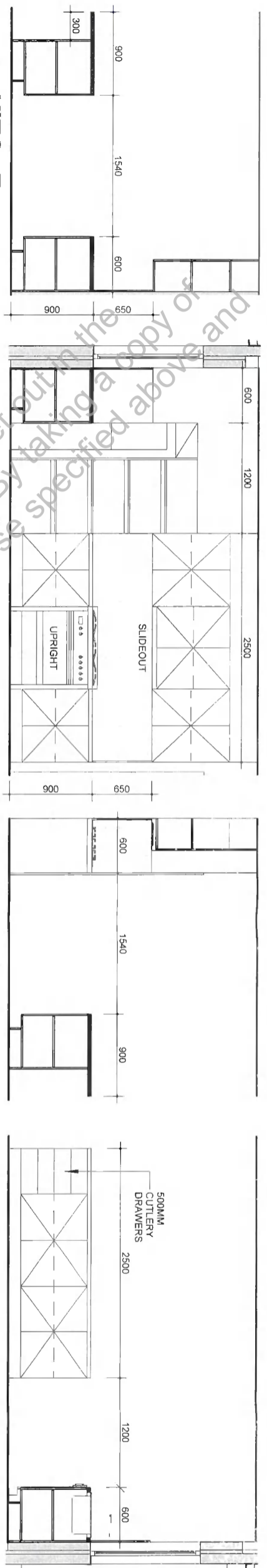
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 ADDRESS: LOT 39, 55 LAKE DRIVE, CHESNEY VALE, VIC  
 Date: 07/05/24  
 Drawn by: JF  
 Checked by: ELDANE

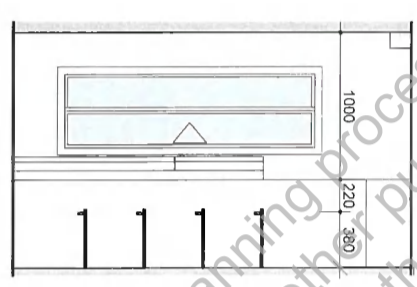
**DOOR & WINDOW SCHEDULE**

1/1A WOODFIELD PARK DRIVE WOODONGA VICTORIA 3690  
 PH: (02)950515000 FAX: (02)6515001  
 VIC Lic No. CD-BU-12000 NSW Lic No. 239700C ABN: 89 150 500 557  
 www.southernvale.com.au

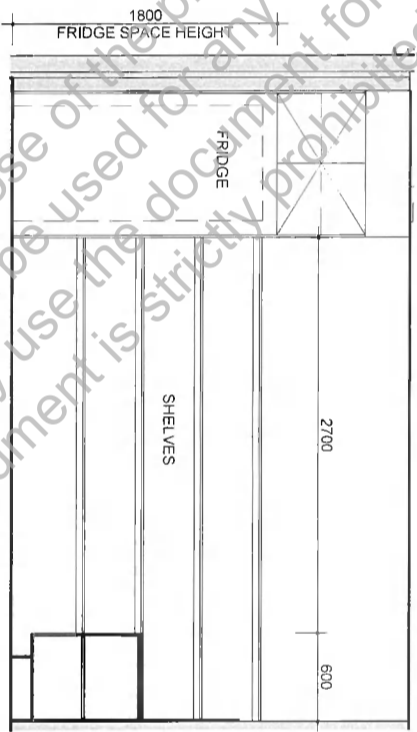
Project No: R03-0123 Issue: PRELIMINARY  
 Inclusions: SIGNATURE 07 Drawing No.  
 Scale: (A3) Revision No. P01  
 As Indicated



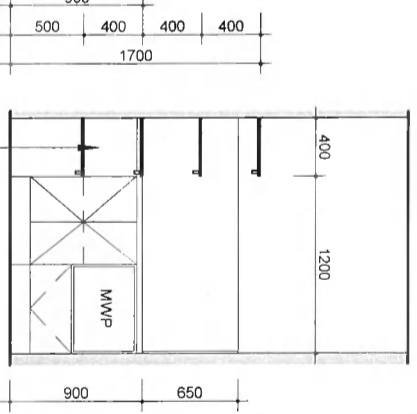
**KITCHEN / WIP**  
1 : 50 MTS



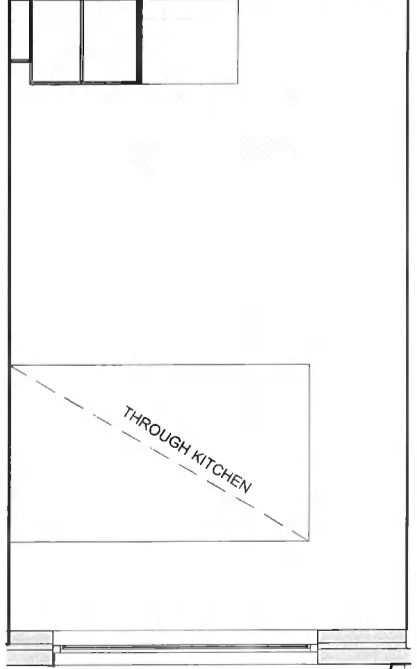
**WIP1 WIP**  
1 : 50 MTS



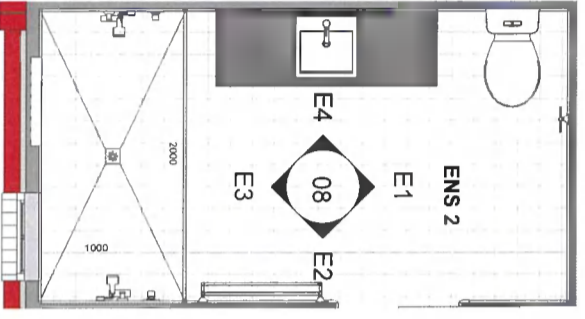
**WIP2 WIP**  
1 : 50 MTS



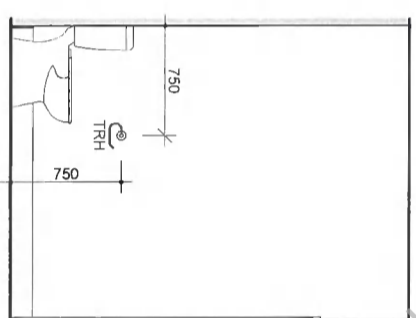
**WIP3 WIP**  
1 : 50 MTS



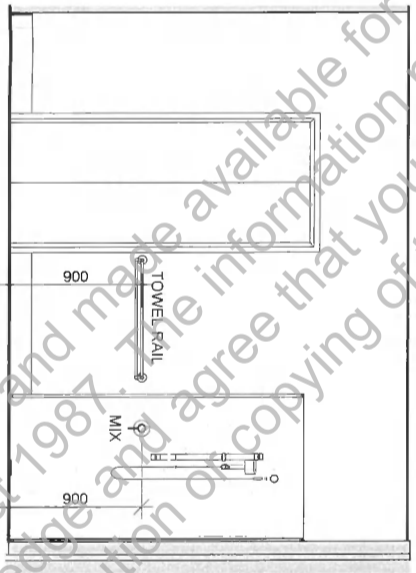
**WIP4 WIP**  
1 : 50 MTS



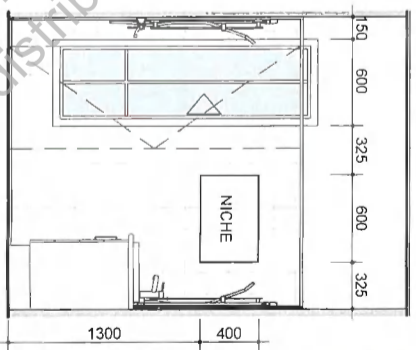
**ENS 2**  
1 : 50 MTS



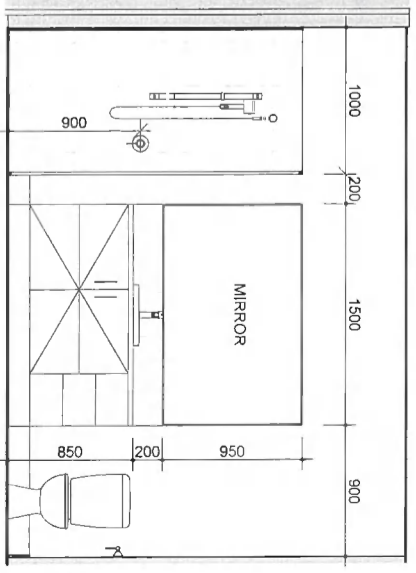
**ENS1**  
1 : 50 MTS



**ENS2**  
1 : 50 MTS



**ENS3**  
1 : 50 MTS



**ENS4**  
1 : 50 MTS

NOTE:  
EXACT LOCATION OF TAPS, ROSES SOAP HOLDER, TOWEL RAILS & TOILET ROLL HOLDERS TO BE DETERMINED ON SITE WITH CLIENT & SUPERVISOR.  
PROVIDE ADDITIONAL WALL NOGGINGS TO WC, BATHROOM & ENSUITE TO ACCOMMODATE TOWEL RAILS & TOILET ROLL HOLDERS (REFER TO INTERNAL ELEVATIONS FOR NOMINATED LOCATIONS).  
TILE SIZE & LOCATION ON PLAN ARE INDICATIVE ONLY. EXACT SIZE & LOCATION TO BE DETERMINED BY COLOUR SELECTION AND CLIENT ON SITE WITH TILER.  
PC ITEMS ARE SYMBOLIC ONLY AND DO NOT REPRESENT ACTUAL FITTINGS AND FIXTURE (REFER TO SPECS FOR THE EXACT MODEL).

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

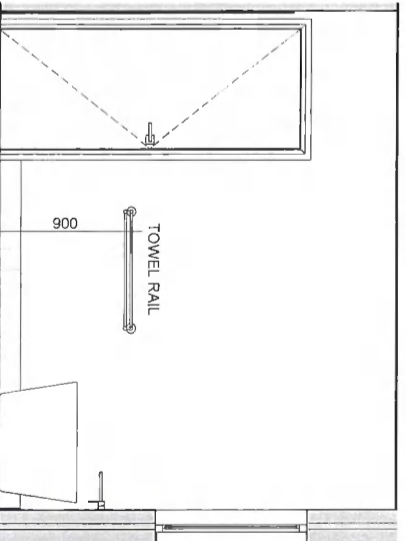
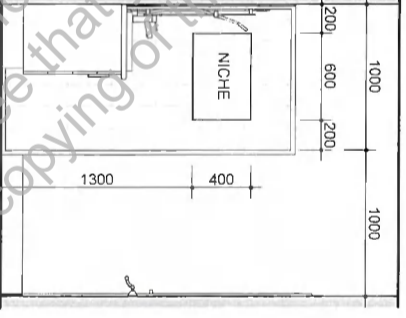
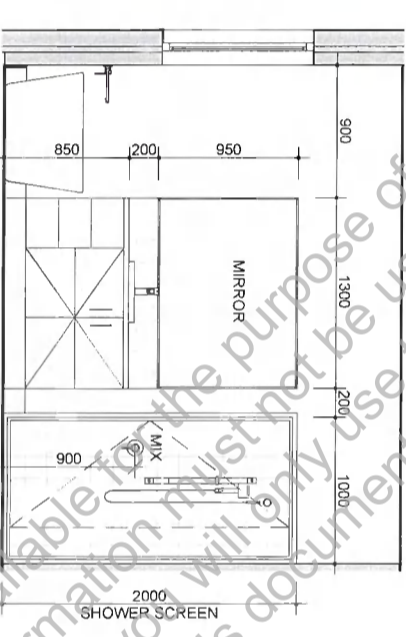
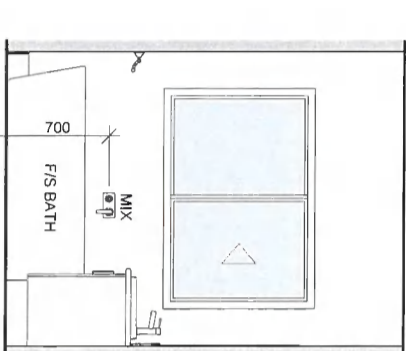
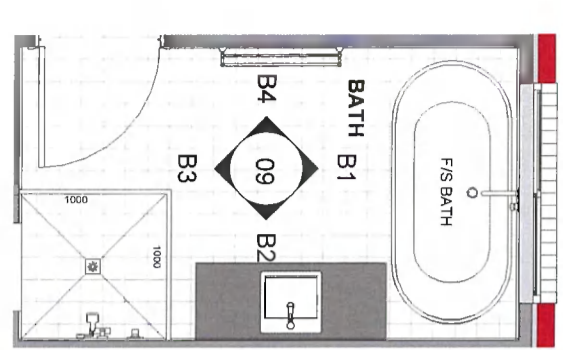
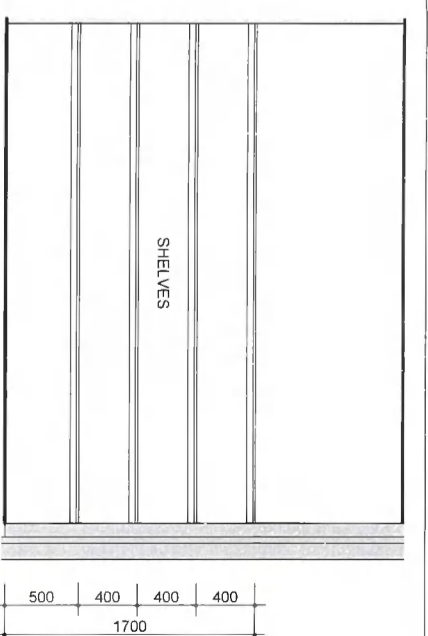
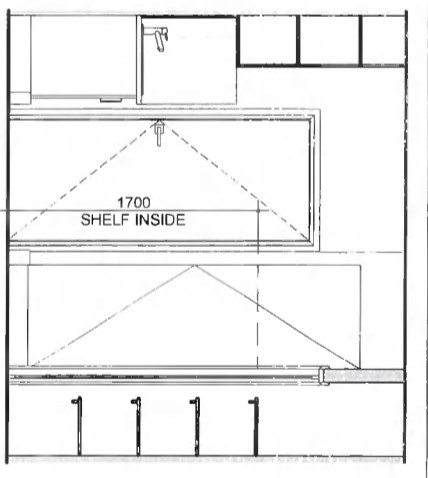
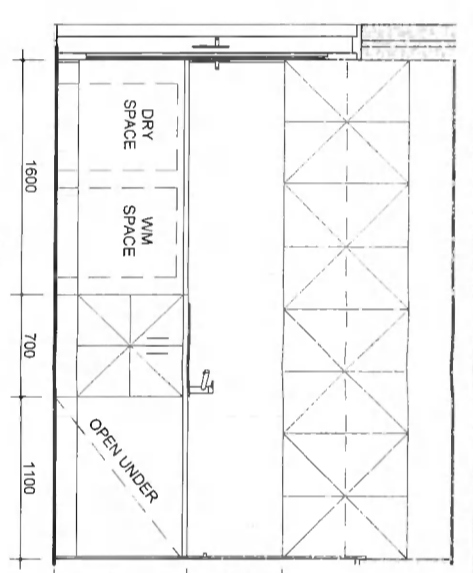
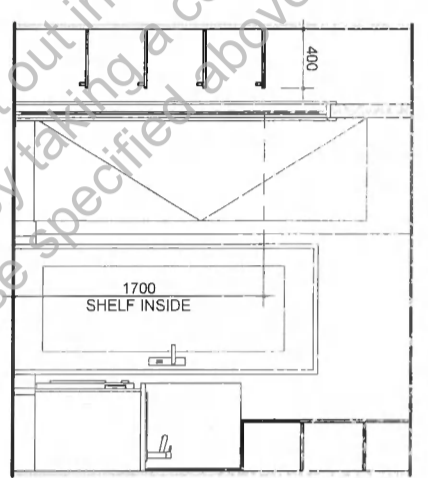
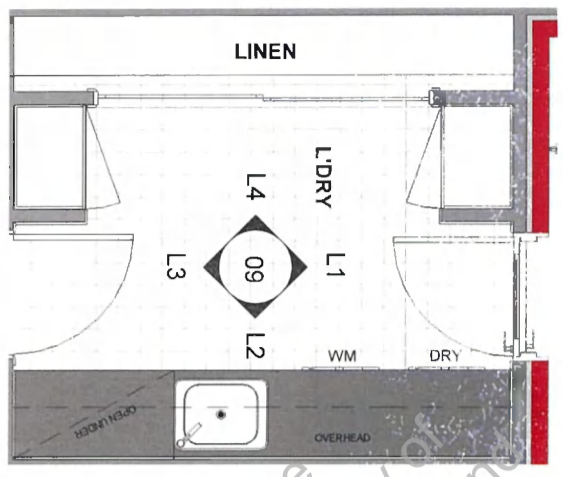
**WARNING:** The plan & design of this house is owned by Southern Vale Homes and under the copyright act of 1988 cannot be reproduced in any shape or form without prior written authorisation.  
NOTE: Contractor shall verify job dimensions before any work commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification and other drawings.

Client	Drawing approved by:	Date

**PROPOSED NEW RESIDENCE**  
CLIENT: MICK & KAELEENE WARWICK  
ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
Date: 07/05/24  
Drawn by: JF  
Checked by: ELDANE

**SOUTHERN VALE**  
1/1A MOONFIELD PARK DRIVE, WOODONGA, VICTORIA 3690  
PH (02) 1805 15000 FAX (02) 1805 15001  
VIC Lic No. CDB-4-52000 NSM Lic No. 259700C A.B.N. 89 150 500 557  
www.southernvale.com.au

Project No:	Issue:
R03-0123	PRELIMINARY
Inclusions:	Drawing No.
SIGNATURE	08
Scale: (A3)	Revision No.
As Indicated	P01



NOTE:  
EXACT LOCATION OF TAPS, ROSES SOAP HOLDER, TOWEL RAILS & TOILET ROLL HOLDERS TO BE DETERMINED ON SITE WITH CLIENT & SUPERVISOR.  
PROVIDE ADDITIONAL WALL NOGGINS TO WC, BATHROOM & ENSUITE TO ACCOMMODATE TOWEL RAILS & TOILET ROLL HOLDERS (REFER TO INTERNAL ELEVATIONS FOR NOMINATED LOCATIONS.)  
TILE SIZE & LOCATION ON PLAN ARE INDICATIVE ONLY. EXACT SIZE & LOCATION TO BE DETERMINED BY COLOUR SELECTION AND CLIENT ON SITE WITH TILER.  
P.C. ITEMS ARE SYMBOLIC ONLY AND DO NOT REPRESENT ACTUAL FITTINGS AND FIXTURE (REFER TO SPECS FOR THE EXACT MODEL).

Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

**WARNING:** The plan & design of this house is owned by Southern Vale Homes and under the copyright act of 1968 cannot be reproduced in any shape or form without prior written authorisation.  
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Check	Date	Check	Date
Author		Client	

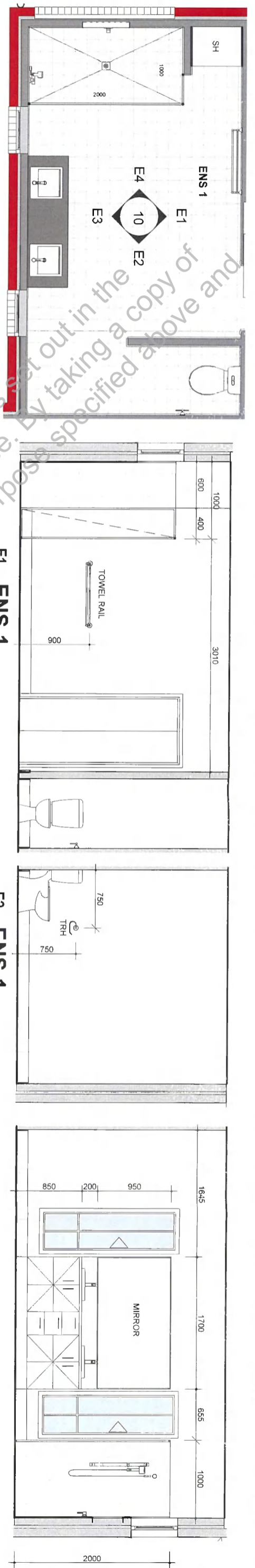
Should the client decide to change the structural plan after this document is signed, the client will be liable for an additional \$3,500 administrative fee will be raised as tax invoice and payable prior to changes being made.

**PROPOSED NEW RESIDENCE**  
CLIENT: MICK & KAELEENE WARWICK  
ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
Date: 07/05/24  
Drawn by: JF  
Checked by: ELDANE

**SOUTHERN VALE HOMES**  
17A MCDONNELL PARK DRIVE, WOODONGA, VICTORIA 3690  
PH: (02) 6051 5000 FAX: (02) 6051 5001  
VIC Lic No: CDB-U-52000 NSW Lic No: 259700C ABN: 89 150 500 557  
www.southernvale.com.au

Project No:	R03-0123	Issue:	PRELIMINARY
Inclusions:	SIGNATURE	Drawing No.	09
Scale: (A3)	As Indicated	Revision No.	P01

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND SERVICES REPORTS. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.



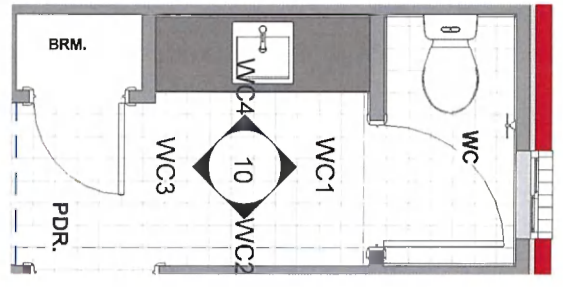
**ENS 1**  
1 : 50 MTS

**E1 ENS 1**  
1 : 50 MTS

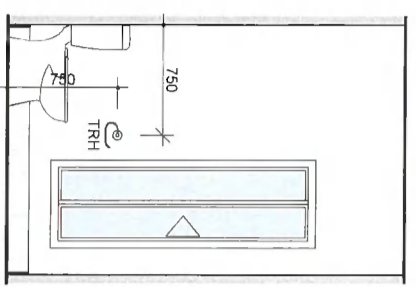
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1 : 50 MTS

**E3 ENS 1**  
1 : 50 MTS

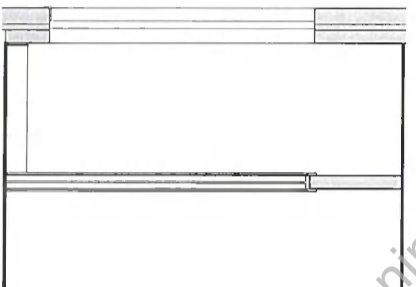
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1 : 50 MTS



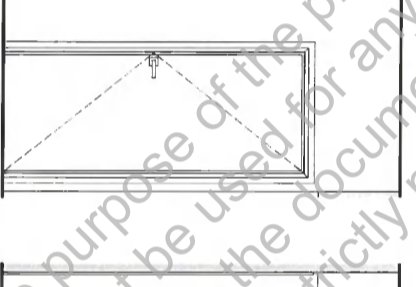
**WC**  
1 : 50 MTS



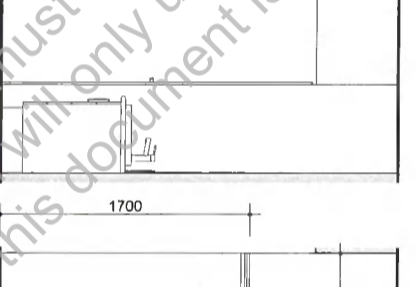
**WC1 WC**  
1 : 50 MTS



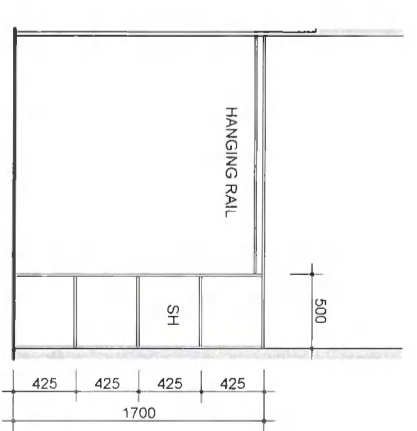
**WC2 WC**  
1 : 50 MTS



**WC3 WC**  
1 : 50 MTS



**WC4 WC**  
1 : 50 MTS



**TR TYPICAL ROBE**  
1 : 50 MTS

**NOTE:**  
EXACT LOCATION OF TAPS, ROSES, SOAP HOLDER, TOWEL RAILS & TOILET ROLL HOLDERS TO BE DETERMINED ON SITE WITH CLIENT & SUPERVISOR.  
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Revision	Description	Floor plan type:	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

**WARNING:** The plan & design of this house is owned by Southern Vale Homes and under the copyright act of 1968 cannot be reproduced in any shape or form without prior written authorisation.  
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Client	Design approved by:
Client: _____ Date: _____	Design approved by: _____ Date: _____
Builder: _____ Date: _____	Should live decide to change the structural plan after this document is signed - live understand an additional \$1000 Admin/Printing fees will be raised as a tax invoice and payable prior to changes being made.

**PROPOSED NEW RESIDENCE**  
CLIENT: MICK & KAELEENE WARWICK  
ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
Date: 07/05/24  
Drawn by: JF  
Checked by: ELDANE

**SOUTHERN VALE HOMES**  
1/1A MOOREFIELD PARK DRIVE, WOODONGA, VICTORIA 3690  
PH: (02) 6051 5000 FAX: (02) 6051 5001  
VIC Lic No. CDB-U-52900 NSW Lic No. 259700C ABN: 89 150 500 557  
www.southernvale.com.au

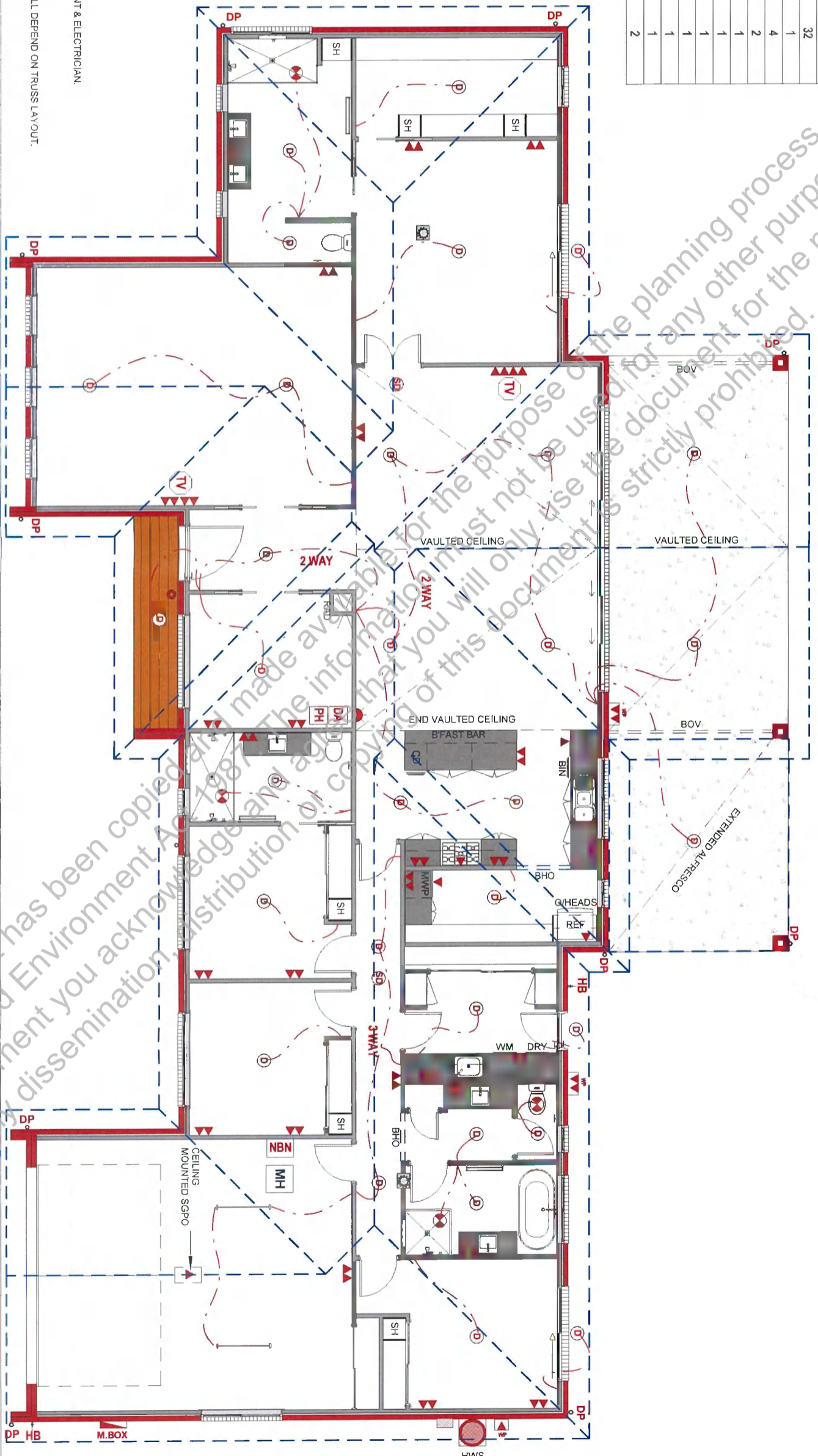
Project No: R03-0123	Issue: PRELIMINARY
Inclusions: SIGNATURE	Drawing No. 10
Scale: (A3) As Indicated	Revision No. P01

● CEILING MOUNTED LIGHT (BAYONET)	▼▼ DOUBLE GPO - 300mm HD UNO	⊕ SMOKE DETECTOR	HB	HOSE BIB WITH DRAINAGE CONNECTED TO SW	⊕ NATURAL GAS POINT (BAYONET)	⊕ ELECTRICAL METER BOX	⊕ GAS METER
● WALL MOUNTED LIGHT	▼▼ DOUBLE GPO - WATERPROOF	NBN	NBN DATA POINT (PHONE/DATA/SINGLE GPO)	⊕ VIDEO INTERCOM DOOR STATION	⊕ CEILING FAN WITHOUT LIGHT	⊕ HOT WATER STORAGE TANK	⊕ DOWN PIPE
⊕ DOWNLIGHT	▼▼ DOUBLE GPO - WITH USB POINT	DA	DATA POINT	⊕ VIDEO INTERCOM MONITOR	⊕ CEILING FAN WITH LIGHT	⊕ INSTANTANEOUS GAS HWS	⊕ EVAPORATIVE AC UNIT
⊕ PENDANT LIGHT	▼▼ SINGLE GPO - 300mm UNO	PH	PHONE POINT	MH	MAN HOLE	⊕ EXHAUST FAN (SHUTTERED) - VENTED TO ATMOSPHERE	⊕ EAVE VENTS
● SPOTLIGHT	▼▼ SINGLE GPO - WATERPROOF	TV	TV POINT	⊕ COOLER VENT	⊕ FLOOR WASTE	⊕ ACCESS POINT	⊕ SMART WASTE
● 2 LIGHT TASTIC (LIGHT/FAN/HEATER)	▼▼ SINGLE GPO - WITH USB POINT	MS	MOTION SENSOR	⊕ HEATER	⊕ SMART WASTE	⊕ SMART WASTE	
● 4 LIGHT TASTIC (LIGHT/FAN/HEATER)	▼▼ SENSOR SWITCH	DS	DIMMER SWITCH	⊕ HEATER VENT		⊕ DOUBLE FLUORESCENT TUBE	

ELECTRICAL/PLUMBING LEGEND		QTY
2-WAY LIGHT CIRCUIT	2	2
3-WAY LIGHT CIRCUIT	1	1
DATA POINT	1	1
DOUBLE GPO	29	29
DOUBLE GPO - WEATHERPROOF	2	2
DOWN PIPE	11	11
DOWNLIGHT	32	32
ELECTRICAL METER BOX	1	1
EXHAUST FAN (SHUTTERED)	4	4
HOSE BIB WITH DRAINAGE CONNECTED TO SW	2	2
HOT WATER STORAGE TANK	1	1
ILLUMINATED DOOR BELL BUTTON	1	1
INSTANTANEOUS GAS HWS (RECESSED)	1	1
MH	1	1
NBN DATA POINT (PHONE, DATA, SINGLE GPO)	1	1
PHONE POINT	1	1
SINGLE FLUORESCENT TUBE	1	2

ELECTRICAL/PLUMBING LEGEND		QTY
SINGLE GPO	5	5
SINGLE GPO - WEATHERPROOF	1	1
SMOKE DETECTOR	2	2
TV POINT	2	2
WALL MOUNTED DOOR BELL CHIME	1	1

**LIGHTING: MAXIMUM ALLOWABLE**  
 5W / (LIVING AREA)m<sup>2</sup> REQUIRED IN NEW INTERNAL AREAS.  
 4W / (EXTERNAL AREAS)m<sup>2</sup> ON DECKING, BALCONIES, ALFRESCO AND VERANDAH  
 3W / (GARAGE AREA)m<sup>2</sup> FOR GARAGES AND CARPORTS.



# ELECTRICAL PLAN

1 : 100 MTS

**NOTE:**  
 - ALL GPO HEIGHTS & LOCATIONS TO BE DETERMINED ON SITE WITH CLIENT & ELECTRICIAN.  
 - EXTERNAL LIGHTS TO DAYLIGHT SENSORS OR MAX. 40 LUMENS/WATT.  
 - ALL EXHAUST FANS IN WET AREAS ARE VENTED TO ATMOSPHERE.  
 - NBN ONLY PROVIDED IF IT IS A LOCAL ESTATE ACCESSIBLE.  
 - EVAPORATIVE AC UNIT LOCATION IS APPROX. ONLY EXACT POSITION WILL DEPEND ON TRUSS LAYOUT.

Revision	Description	Floor Plan Type	Date
P01	P01 REQUEST		01/05/24
	PARALLEL TRUSS & ROOF TRUSS UPDATED		07/05/24

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**PROPOSED NEW RESIDENCE**  
 CLIENT: MICK & KAELEENE WARWICK  
 ADDRESS: LOT 39, 55 LAKESIDE DRIVE, CHESNEY VALE, VIC  
 Date: 07/05/24  
 Drawn by: JF  
 Checked by: ELDANE

**SOUTHERN VALE**  
 1/1A MOOREFIELD PARK DRIVE, WODONGA, VICTORIA 3690  
 PH: (02)9051-5900 FAX: (02)9051-5001  
 VIC Lic No. CDB-U92000 NSW Lic No. 259700C ABN: 89 150 500 557  
 www.southernvale.com.au

Project No: R03-0123 Issue: PRELIMINARY  
 Inclusions: SIGNATURE  
 Scale: (A3) As Indicated  
 Drawing No. 11  
 Revision No. P01



## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11440 FOLIO 257

Security no : 124112687608X

Produced 15/02/2024 03:55 PM

### LAND DESCRIPTION

Lot 39 on Plan of Subdivision 316386N.  
PARENT TITLE Volume 11222 Folio 316  
Created by instrument PS316386N Stage 6 16/08/2013

### REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors  
MICHAEL JAMES WARWICK  
KAELEENE JOY WARWICK both of 4 PALAGIA COURT SOMERVILLE VIC 3912  
AX354698F 16/10/2023

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS316386N FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX354697H (E)	DISCHARGE OF MORTGAGE	Registered	16/10/2023
AX354698F (E)	TRANSFER	Registered	16/10/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 55 LAKESIDE DRIVE CHESNEY VALE VIC 3725

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION PLAN NO. PS316386N

DOCUMENT END

<b>PLAN OF SUBDIVISION</b>	STAGE No.	<b>LV USE ONLY EDITION 10</b>	<b>PLAN NUMBER PS 316386N</b>
----------------------------	-----------	-----------------------------------	-----------------------------------

**LOCATION OF LAND**  
**PARISH:** MOKOAN  
**TOWNSHIP:** —  
**SECTION:** —  
**CROWN ALLOTMENT:** 72 (PART)  
**TITLE REFERENCES:** VOL. FOL.  
**LAST PLAN REFERENCE:** PS 316386N (LOT S8)  
**POSTAL ADDRESS:** LAKE MOKOAN ROAD  
(at time of subdivision) CHESNEY VALE 3725  
**MGA Co-ordinates** E 415800 ZONE 55  
(of approx. centre of plan) N 5967700

**COUNCIL CERTIFICATION AND ENDORSEMENT**

**COUNCIL NAME:** BENALLA RURAL CITY **REF:**

**THIS IS A SPEAR PLAN**

**VESTING OF ROADS OR RESERVES**

IDENTIFIER	COUNCIL/BODY/PERSON
ROADS R1, R2 & R3	BENALLA RURAL CITY

**NOTATIONS**

**DEPTH LIMITATION:** DOES NOT APPLY

**STAGING:** This is a staged subdivision.  
 Planning Permit No. P0098/12 & P0137/13

**LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. SEE OWNERS CORPORATION SEARCH REPORT(S) FOR DETAILS**

**LOT S12 CONSISTS OF THREE PARTS**

**SURVEY:** THIS PLAN IS BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 4, 5, 36 & 37 IN PROCLAIMED SURVEY AREA No. \_\_\_\_\_

LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. SEE OWNERS CORPORATION SEARCH REPORT(S) FOR DETAILS

LOT S12 CONSISTS OF THREE PARTS

SURVEY: THIS PLAN IS BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 4, 5, 36 & 37 IN PROCLAIMED SURVEY AREA No. \_\_\_\_\_

**EASEMENT INFORMATION**

**LEGEND** E - Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance  
 A - Appurtenant Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/in Favour Of
R1	WAY, DRAINAGE, WATER SUPPLY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-1 & E-8	ELECTRICITY SUPPLY & TELEPHONE	11	THIS PLAN Section 103 <sup>B</sup> SEC ACT 1958	S.E.C.V
E-2	POWERLINE	3	THIS PLAN Section 103 <sup>B</sup> SEC ACT 1958	S.E.C.V
E-1, E-2 & E-8	WATER SUPPLY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-3	WATER SUPPLY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-4	WATER SUPPLY	3	THIS PLAN	LOTS ON PS.316386N
E-4	WATER SUPPLY	3	C/E N 559095R	VOL. 9736 FOL. 434
E-5	WATER SUPPLY	3	C/E N 559095R	VOL. 9736 FOL. 434
E-5	POWERLINE	3	THIS PLAN Section 103 <sup>B</sup> SEC ACT 1958	S.E.C.V
E-6 & E-8	POWERLINE	1.50	THIS PLAN Section 44 ELECTRICITY INDUSTRY ACT 1993	EASTERN ENERGY LTD.
E-6 & E-8	WATER SUPPLY	1.50	THIS PLAN	LOTS ON PS.316386N
E-6 & E-8	WATER SUPPLY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-6 & E-8	POWERLINE	SEE PLAN	THIS PLAN Section 44 ELECTRICITY INDUSTRY ACT 1993	EASTERN ENERGY LTD.
E-7	WATER SUPPLY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-7	POWERLINE	SEE PLAN	THIS PLAN Section 44 ELECTRICITY INDUSTRY ACT 1993	EASTERN ENERGY LTD.
E-8 & E-9	WAY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-10	WATER SUPPLY	3	THIS PLAN	LOTS ON PS.316386N
E-11	POWERLINE	2	THIS PLAN Section 88 OF THE ELECTRICITY INDUSTRY ACT 2000	SPI ELECTRICITY PTY. LTD.
E-12	WAY	SEE PLAN	THIS PLAN	LOTS ON PS.316386N
E-13	WATER SUPPLY	7	THIS PLAN	LOTS ON PS.316386N
E-14	WATER SUPPLY	10	THIS PLAN	LOTS ON PS.316386N
E-14	WAY	10	THIS PLAN	LOT 38 ON PS.316386N
E-15	DRAINAGE	SEE PLAN	THIS PLAN	BENALLA RURAL CITY

LV USE ONLY

STATEMENT OF COMPLIANCE/  
EXEMPTION STATEMENT

RECEIVED  DATE: 06/08/2010

**THIS IS A LAND VICTORIA COMPILED PLAN**

FOR DETAILS SEE MODIFICATION TABLE HEREIN

SHEET 1 OF 10 SHEETS

**ESLER & ASSOCIATES**  
 SURVEYORS & ENGINEERS  
 31 BAKER STREET WANGARATTA 3677  
 PHONE (03) 57215688 FAX. (03) 57216188

LICENSED SURVEYOR (PRINT) ANDREW ALFRED ROTHERHAM

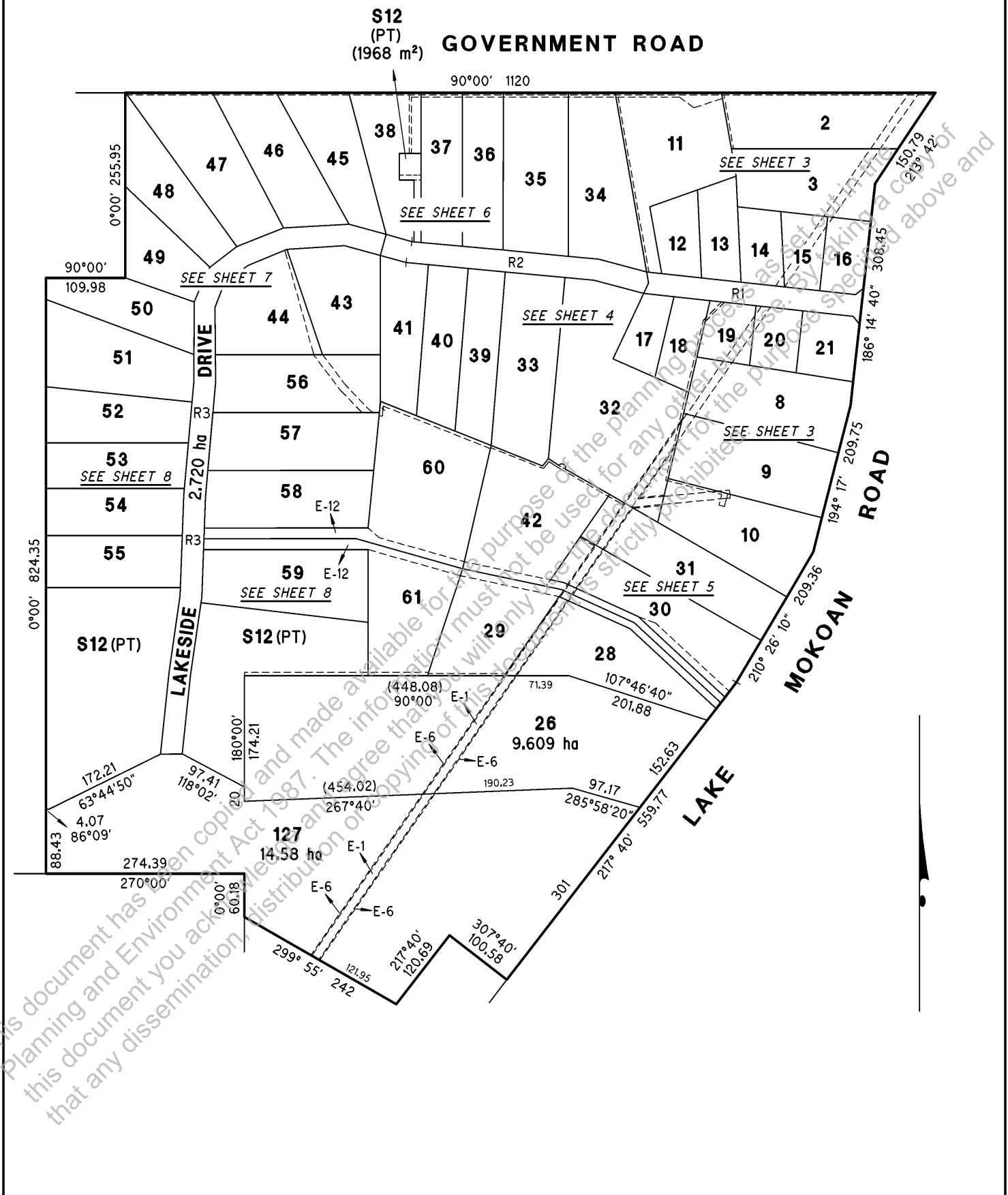
SIGNATURE **DIGITALLY SIGNED** DATE / /

REF **62415** VERSION **2**

THIS IS A LAND VICTORIA COMPILED PLAN

ORIGINAL SHEET SIZE **A3**

PLAN NUMBER  
**PS 316386N**



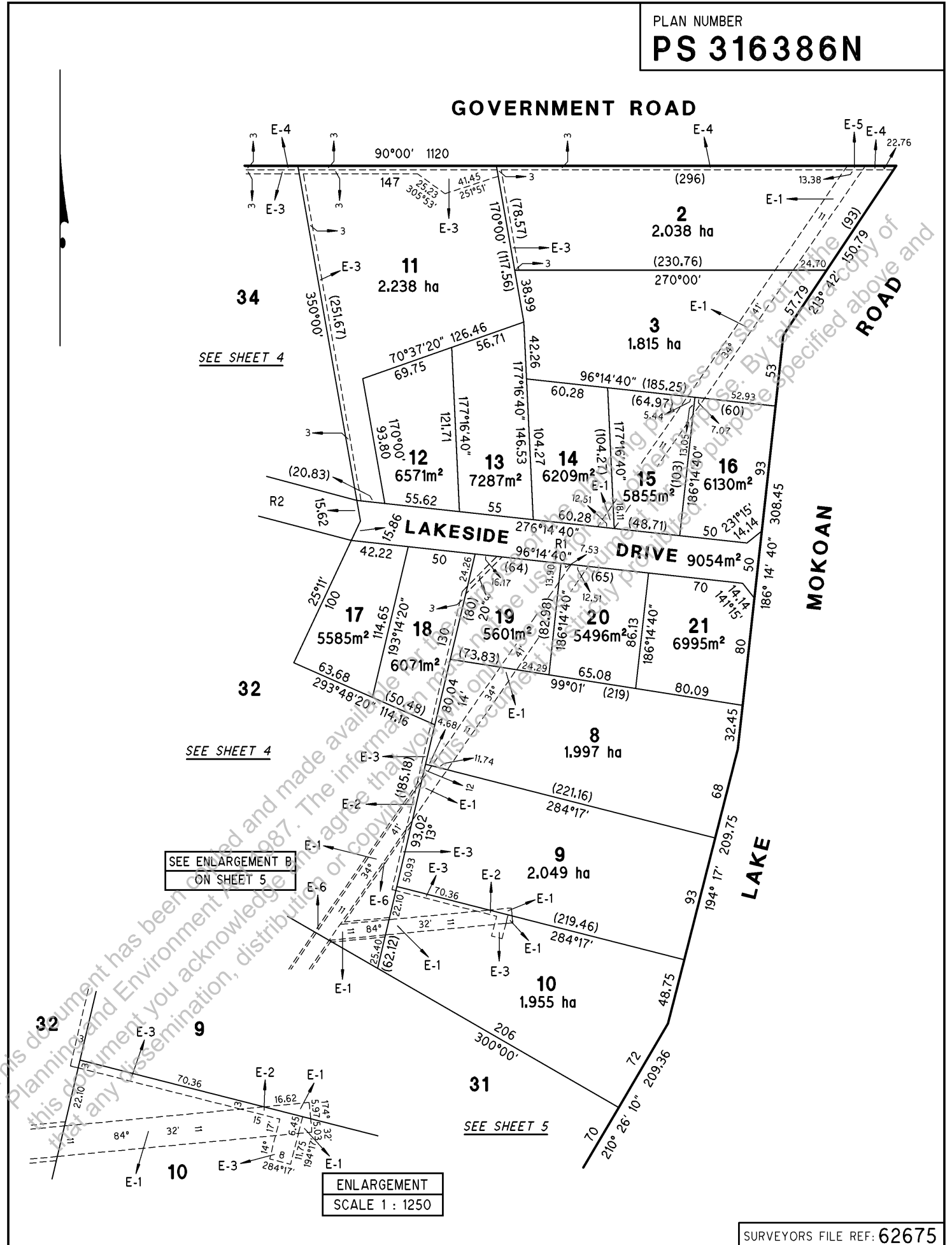
SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**  
SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60580100  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 5000  
50 0 100 200  
LENGTHS ARE IN METRES  
**ANDREW ALFRED ROTHERHAM**  
VERSION **2**

ORIGINAL SHEET  
SIZE A3  
SHEET **2**

PLAN NUMBER  
**PS 316386N**



SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**  
SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60580100  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 2500

25 0 50 100  
LENGTHS ARE IN METRES

**ANDREW ALFRED ROTHERHAM**  
VERSION **2**

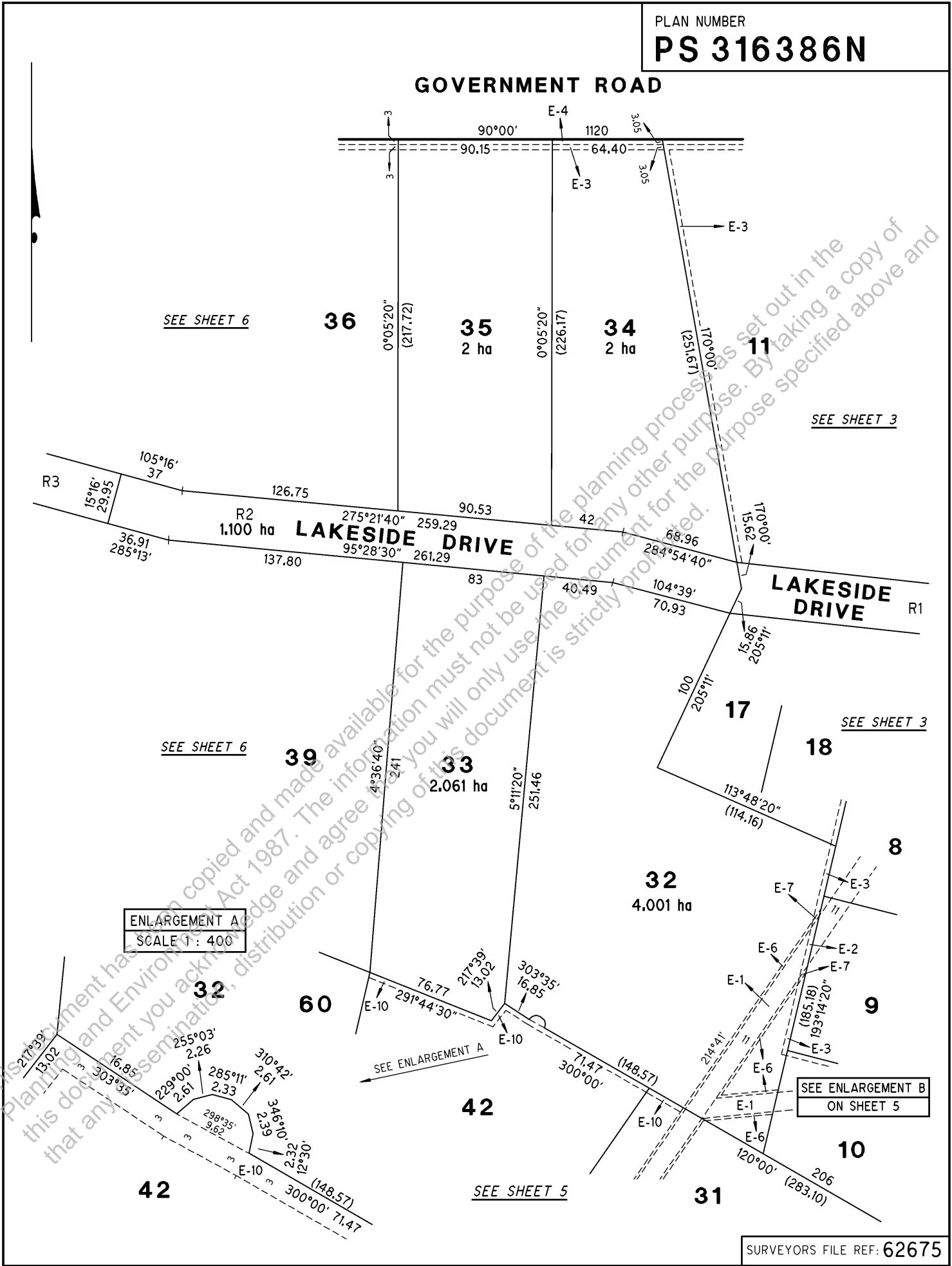
ORIGINAL SHEET  
SIZE A3

SHEET **3**

PLAN NUMBER

**PS 316386N**

**GOVERNMENT ROAD**



SEE SHEET 6

SEE SHEET 3

SEE SHEET 6

SEE SHEET 3

ENLARGEMENT A  
SCALE 1 : 400

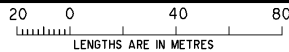
SEE ENLARGEMENT B  
ON SHEET 5

SURVEYORS FILE REF: 62675

**ESLERS LAND CONSULTING**

SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60580100  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 2000



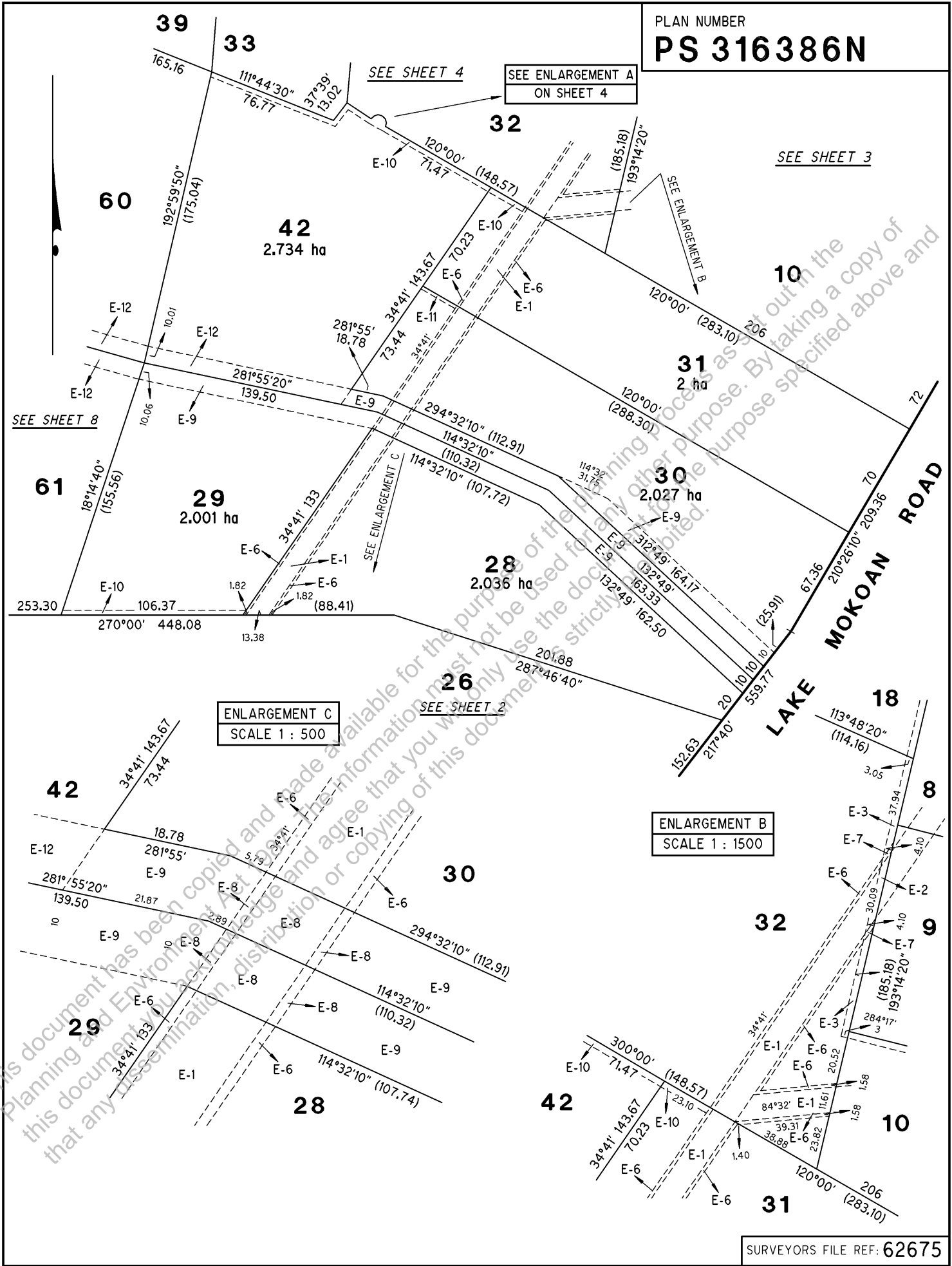
ORIGINAL SHEET  
SIZE A3

SHEET 4

ANDREW ALFRED ROTHERHAM

VERSION 2

PLAN NUMBER  
**PS 316386N**



**ENLARGEMENT C**  
SCALE 1 : 500

**ENLARGEMENT B**  
SCALE 1 : 1500

SURVEYORS FILE REF: **62675**

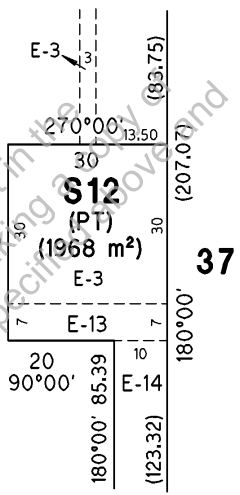
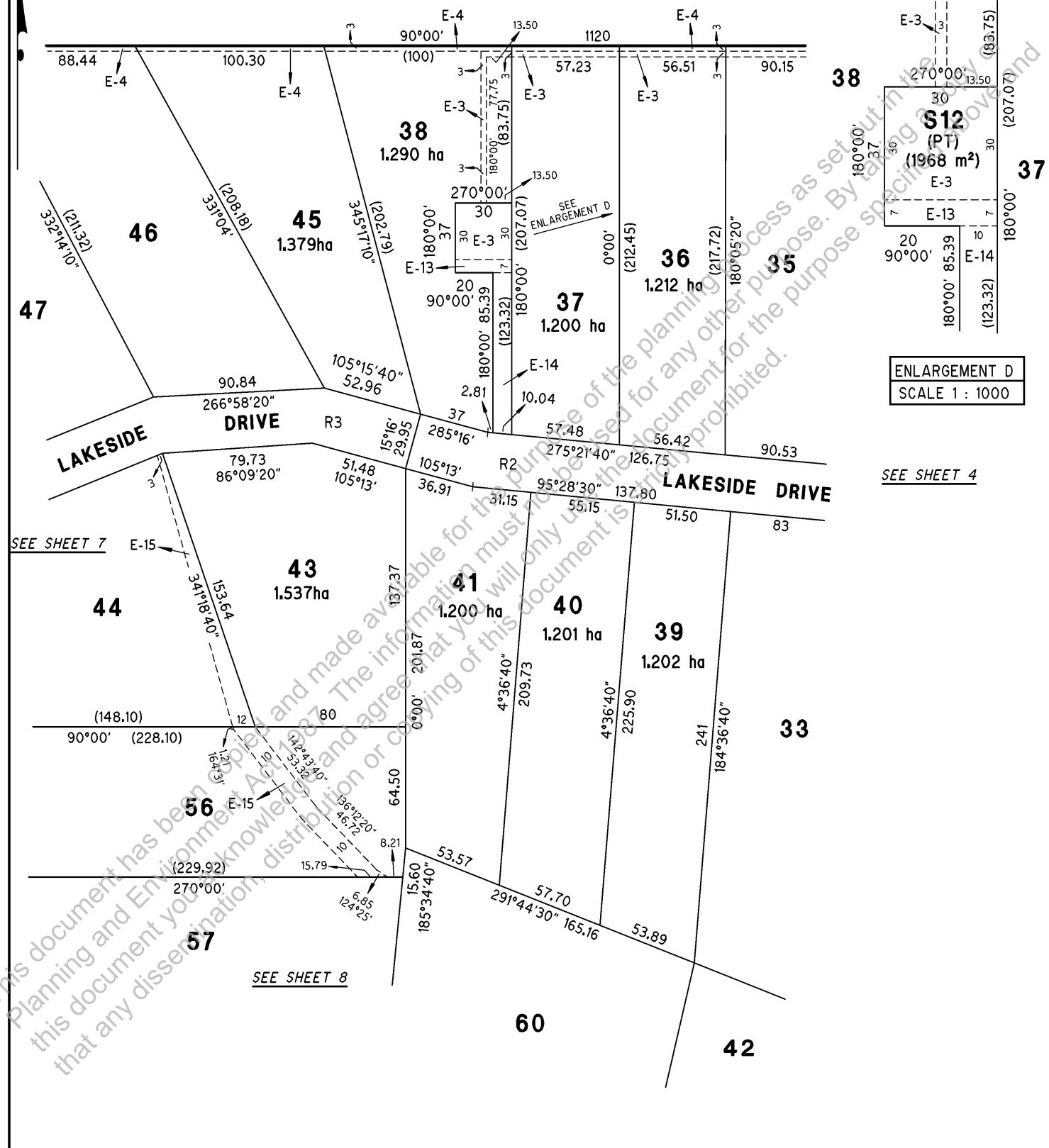
**ESLERS LAND CONSULTING**  
 SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
 598 MACAULEY STREET ALBURY 2640, (02)60580100  
 31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE 1 : 2000  
  
 LENGTHS ARE IN METRES  
**ANDREW ALFRED ROTHERHAM**  
 VERSION **2**

ORIGINAL SHEET SIZE A3  
 SHEET 5

PLAN NUMBER  
**PS 316386N**

**GOVERNMENT ROAD**



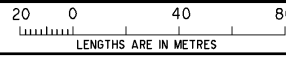
**ENLARGEMENT D**  
SCALE 1 : 1000

SEE SHEET 4

SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**  
SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60580100  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 2000



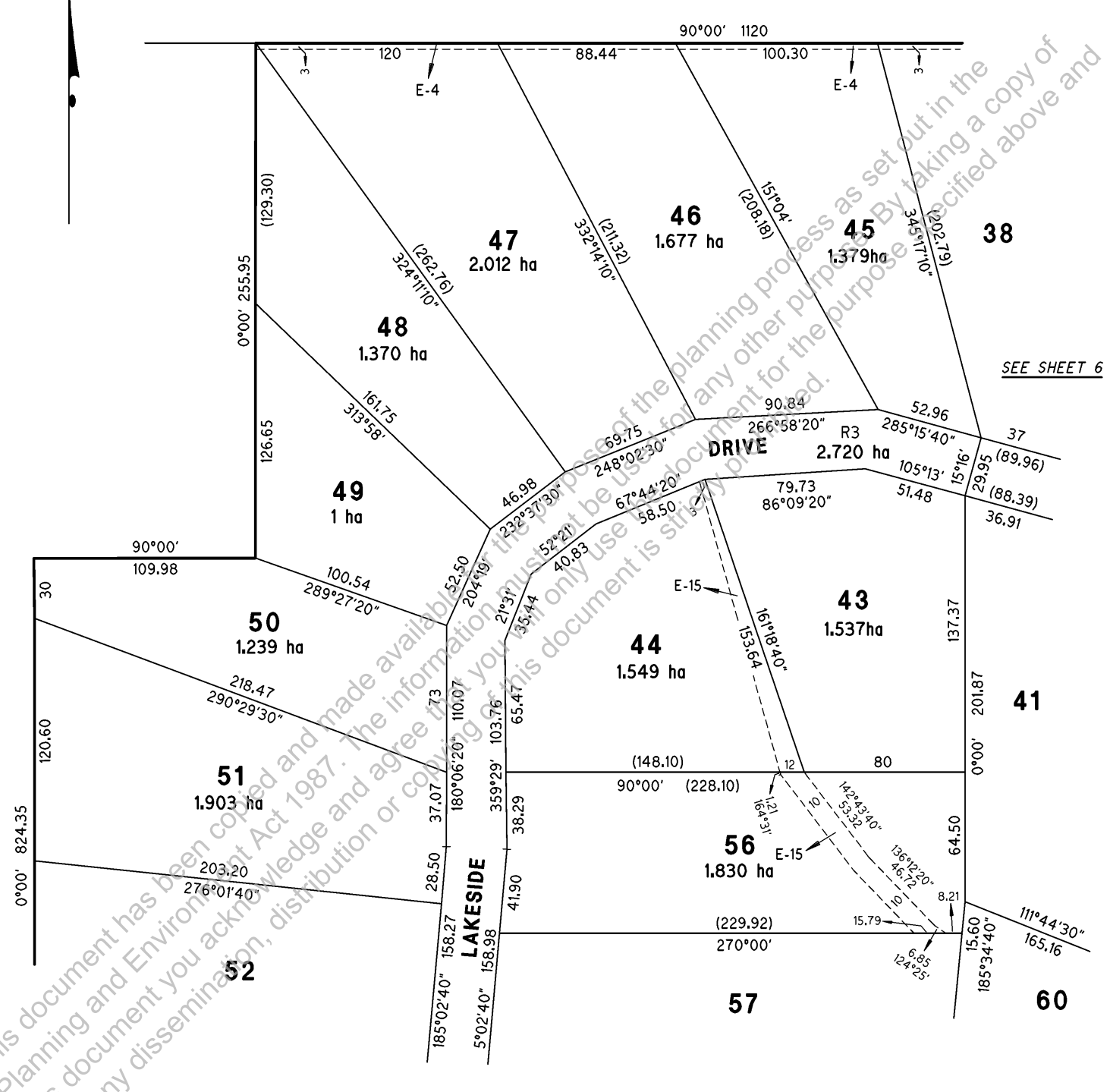
ORIGINAL SHEET  
SIZE A3

SHEET 6

**ANDREW ALFRED ROTHERHAM**  
VERSION **2**

PLAN NUMBER  
**PS 316386N**

**GOVERNMENT ROAD**



SEE SHEET 6

SEE SHEET 8

SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**  
 SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
 598 MACAULEY STREET ALBURY 2640, (02)60580100  
 31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 2000

20 0 40 80  
LENGTHS ARE IN METRES

**ANDREW ALFRED ROTHERHAM**  
VERSION **2**

ORIGINAL SHEET  
SIZE A3

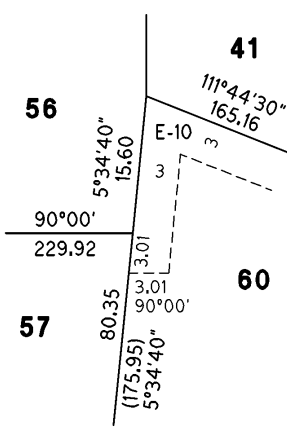
SHEET 7



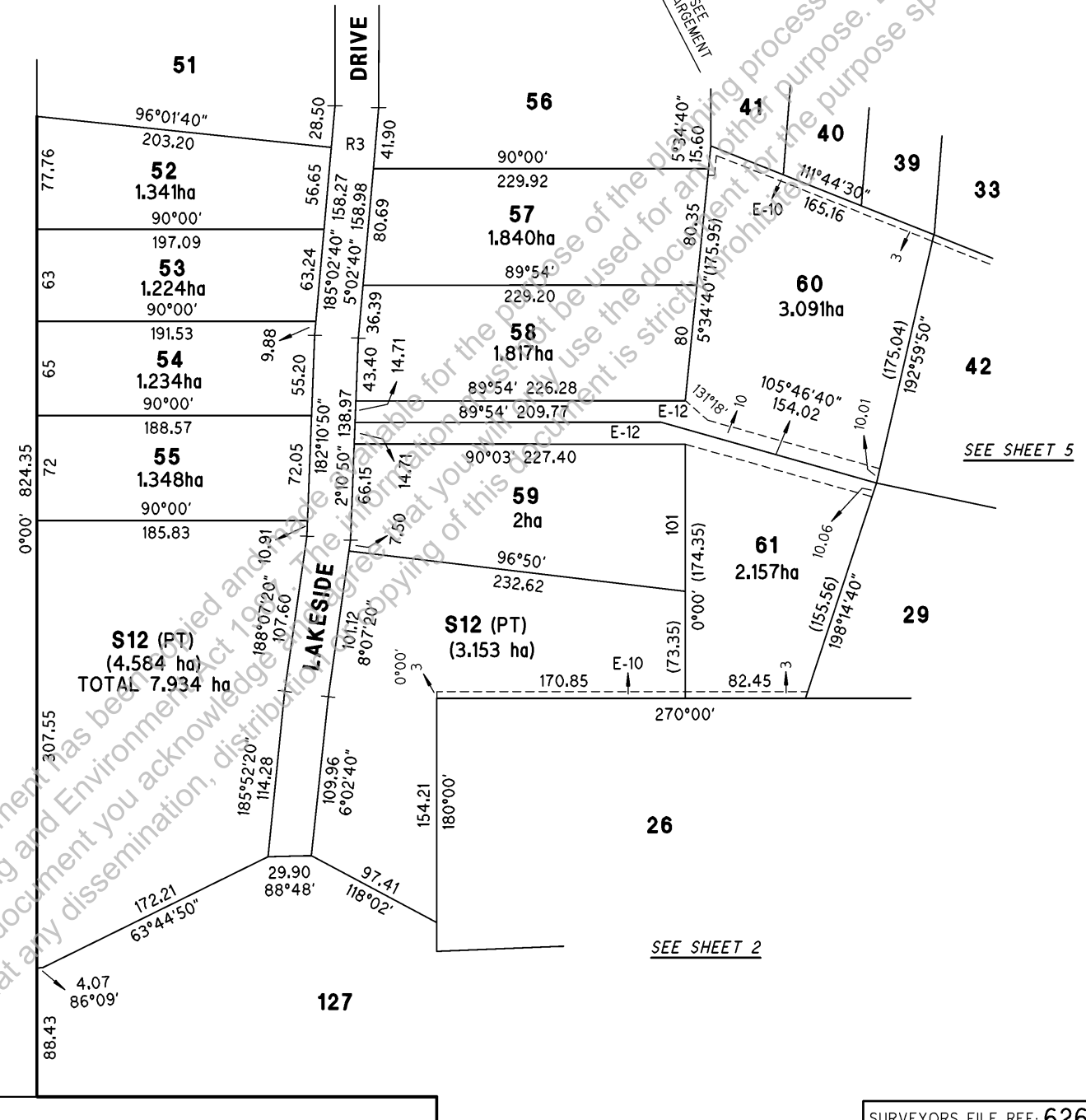
PLAN NUMBER  
**PS 316386N**



SEE SHEET 7



ENLARGEMENT  
NOT TO SCALE



SEE SHEET 5

SEE SHEET 2

SURVEYORS FILE REF: 62675

**ESLERS LAND CONSULTING**  
SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60211322  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 3000  
30 0 60 120  
LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE A3

SHEET 8

ANDREW ALFRED ROTHERHAM

VERSION 2

PLAN NUMBER  
**PS 316386N**

**CREATION OF RESTRICTION**

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS TO BE CREATED.  
THIS RESTRICTION IS AUTHORIZED BY THE BENALLA RURAL CITY COUNCIL  
PLANNING PERMIT No. P0098/12 & P0137/13

LAND TO BENEFIT - LOTS ON PS 316386N

LAND TO BE BURDENED - LOTS 36 TO 38, 41, & 45 TO 51 ON PS 316386N

**DESCRIPTION OF RESTRICTION**

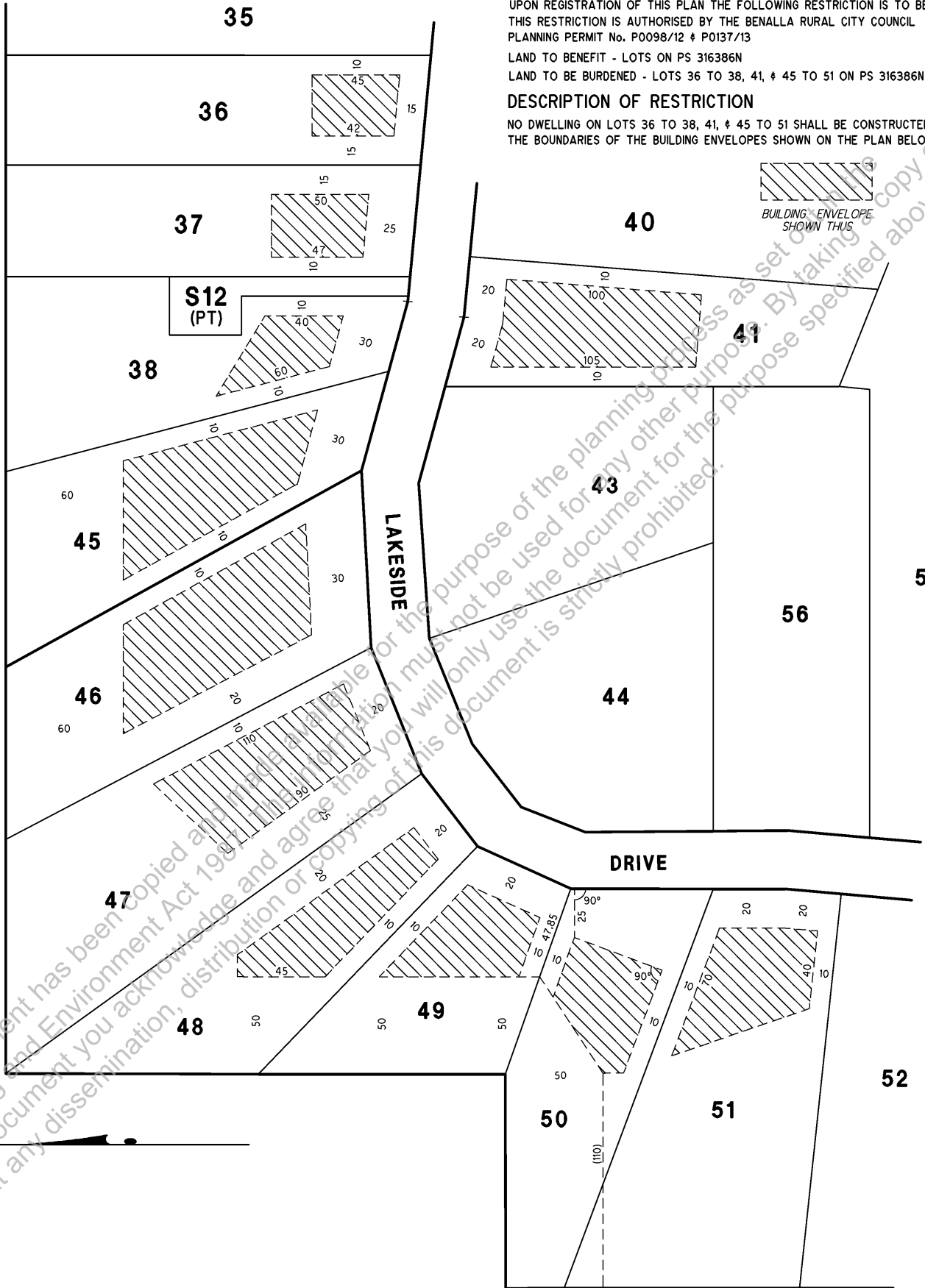
NO DWELLING ON LOTS 36 TO 38, 41, & 45 TO 51 SHALL BE CONSTRUCTED OUTSIDE THE BOUNDARIES OF THE BUILDING ENVELOPES SHOWN ON THE PLAN BELOW.



**GOVERNMENT ROAD**

**LAKESIDE DRIVE**

**DRIVE**

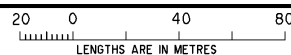


SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**

SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
598 MACAULEY STREET ALBURY 2640, (02)60580100  
31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
1 : 2000



ORIGINAL SHEET  
SIZE A3

SHEET 9

**ANDREW ALFRED ROTHERHAM**

VERSION **2**

PLAN NUMBER

**PS 316386N**

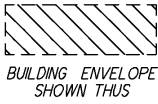
**CREATION OF RESTRICTION**

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS TO BE CREATED.  
 THIS RESTRICTION IS AUTHORISED BY THE BENALLA RURAL CITY COUNCIL  
 PLANNING PERMIT No. P0137/13

LAND TO BE BURDENED - LOTS 52 TO 55 ON PS316386N  
 LAND TO BE BURDENED - LOTS 52 TO 55 ON PS316386N

**DESCRIPTION OF RESTRICTION**

ANY BUILDINGS ON LOTS 52 TO 55 MUST BE LOCATED WHOLLY WITHIN  
 THE BOUNDARIES OF THE BUILDING ENVELOPES SHOWN ON THE PLAN BELOW.



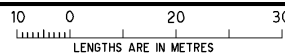
**S12 (PT)**

SURVEYORS FILE REF: **62675**

**ESLERS LAND CONSULTING**

SURVEYORS, ENGINEERS & DEVELOPMENT CONSULTANTS  
 598 MACAULEY STREET ALBURY 2640, (02)60211322  
 31 BAKER STREET WANGARATTA 3677, (03)57215688

SCALE  
 1 : 1000



ORIGINAL SHEET  
 SIZE A3

SHEET 10

**ANDREW ALFRED ROTHERHAM**

VERSION **2**



**PLAN NUMBER**  
**PS 316386N**

# MODIFICATION TABLE

**RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN**  
**MASTER PLAN ( STAGE 1 ) REGISTERED DATE 13-7-93 TIME 2:30**

AFFECTED LAND / PARCEL	LAND / PARCEL / IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT S2	LOTS A & S3	STAGE 2	U880086J	31-7-97	2:30	2	
LOT S3	LOTS 27 & S4	STAGE 3	V 488893T	23-7-98	10:30AM	3	
LOT S4	LOTS 26 & S5	STAGE 4	W8179G	9/6/99	9:40AM	4	G5N
LOT S5	LOTS 28 to 36 & S6	STAGE 5	PS316386N/S5	23/8/2010		5	A.M.
LOT S6	LOTS 36-42, S7 ROAD R3	STAGE 6	PS316386N/S6	16/8/13		6	BT
Lot S7	Lots 43, 45 and S8	Stage Plan	PS316386N/S7	22/12/15		7	RGM
LOT S8	LOTS 44,46-51,56 & S9	STAGE 8	PS316386N/S8	29/06/2016	11:41 am	8	H.L.
LOTS 27 AND S9	LOTS 127 AND S10	STAGE 9	PS316386N/S9	07/06/17		9	GMR
LOT S10	LOTS 52-55, 57-61 & S12	STAGE 10	PS316386N/S10	19/07/18		10	D.P.

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# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

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Produced: 15/02/2024 03:55:56 PM

**OWNERS CORPORATION**  
**PLAN NO: PS316386N**

The land in PS316386N is affected by 1 Owners Corporation(s)

### Land Affected by Owners Corporation:

Lots 2, 3, 8 - 21, 26, 28 - 61, 127, S12.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

62 LAKESIDE DRIVE CHESNEY VALE VIC 3725

AR866082U 24/01/2019

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

NIL

### Notations:

NIL

### Entitlement and Liability:

NOTE - Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 2	40	40
Lot 3	40	40
Lot 8	40	40
Lot 9	40	40
Lot 10	40	40
Lot 11	40	40
Lot 12	10	10



# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

Produced: 15/02/2024 03:55:56 PM

**OWNERS CORPORATION  
PLAN NO. PS316386N**

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 13	10	10
Lot 14	10	10
Lot 15	10	10
Lot 16	10	10
Lot 17	10	10
Lot 18	10	10
Lot 19	10	10
Lot 20	10	10
Lot 21	10	10
Lot 26	50	50
Lot 28	40	40
Lot 29	40	40
Lot 30	40	40
Lot 31	40	40
Lot 32	80	80
Lot 33	40	40
Lot 34	40	40
Lot 35	40	40
Lot 36	25	25
Lot 37	25	25
Lot 38	25	25
Lot 39	25	25
Lot 40	25	25
Lot 41	25	25
Lot 42	40	40
Lot 43	25	25
Lot 44	25	25
Lot 45	25	25
Lot 46	25	25



# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

Produced: 15/02/2024 03:55:56 PM

**OWNERS CORPORATION  
PLAN NO. PS316386N**

**Entitlement and Liability:**

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 47	25	25
Lot 48	25	25
Lot 49	25	25
Lot 50	25	25
Lot 51	25	25
Lot 52	25	25
Lot 53	25	25
Lot 54	25	25
Lot 55	25	25
Lot 56	25	25
Lot 57	40	40
Lot 58	40	40
Lot 59	40	40
Lot 60	40	40
Lot 61	40	40
Lot 127	300	300
Lot S12	550	550
<b>Total</b>	<b>2340.00</b>	<b>2340.00</b>

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End