

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:  
8 Thoroughbred Lane, Benalla  
Lot 33, PS904054, Parish of Benalla

The application is for a permit to:  
Construct a dwelling and to vary a restrictive covenant  
(building envelope alteration)

The applicant for the permit is:  
Mr Frank Darke  
North East Planning Plus

The application reference number is:  
DA7631  
P0066/24

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must:**

- \* be made to the responsible authority in writing;
- \* include the reasons for the objection; and
- \* state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:

**8 July 2024**

If you object, the Responsible Authority will tell you its decision.

**Office Use Only**

Application No.:

Date Lodged: / /

# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

**i** Click for further information.

Clear Form

## The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

Unit No.:	St. No.: 8	St. Name: Thoroughbred Lane
Suburb/Locality: Benalla		Postcode: 3672

### Formal Land Description \*

Complete either A or B.

**⚠** This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 33	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: 904054M
<b>OR</b>					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

## The Proposal

**⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

**i** For what use, development or other matter do you require a permit? \*

Construction of a dwelling in land which is subject to an inundation overlay.

**⚠** Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

**i** Estimated cost of any development for which the permit is required \*

Cost \$850,000

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

## Existing Conditions i

### Describe how the land is used and developed now \*

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant Land

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

### Encumbrances on title \*

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Name:		
Title:	First Name: Amanda	Surname: Wilson
Organisation (if applicable): Hadar Homes		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 197-199	St. Name: Melbourne Road
Suburb/Locality: Wodonga	State: VIC	Postcode: 3690

Please provide at least one contact phone number \*

Contact information for applicant OR contact person below	
Business phone: 0260557900	Email: amanda.wilson@hadar.com.au
Mobile phone:	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*		Same as applicant <input checked="" type="checkbox"/>
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:	State:	Postcode:

### Owner \*


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>
Title:	First Name: Caitlin	Surname: Bell
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 17	St. Name: Simkin Drive
Suburb/Locality: Benalla	State: VIC	Postcode: 3672
Owner's Signature (Optional):	Date: day / month / year	

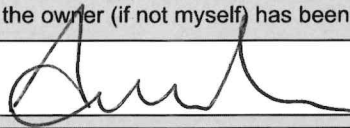
## Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 20/6/24

day / month / year

## Privacy consent

I give consent to my personal information disclosed in the application to be made available for public inspection, including on Council's public website, whilst the application is being determined, in accordance with Section 51 of the Planning and Environment Act 1987.

Yes  No

Signature:

Date:

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No  Yes

If 'Yes', with whom?:

Date:


day / month / year

## Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

Completed the relevant council planning permit checklist?

Signed the declaration above?

## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Benalla Rural City Council  
PO Box 227  
Benalla VIC 3671

Customer Service Centre  
1 Bridge Street East  
Benalla VIC 3671

### Contact information:

Phone (03) 5760 2600  
Email: [council@benalla.vic.gov.au](mailto:council@benalla.vic.gov.au)  
DX: 32230

Deliver application in person, by post or by electronic lodgement.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12494 FOLIO 978

Security no : 124115968621E  
Produced 20/06/2024 11:26 AM

**LAND DESCRIPTION**

Lot 33 on Plan of Subdivision 904054M.  
PARENT TITLE Volume 12349 Folio 695  
Created by instrument PS904054M 09/08/2023

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
CAITLIN CECILE BELL of 111 BURSTON ROAD BENALLA VIC 3672  
AX185303Y 24/08/2023

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AX185304W 24/08/2023  
COMMONWEALTH BANK OF AUSTRALIA

COVENANT PS904054M 09/08/2023

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AT774802F 16/11/2020

**DIAGRAM LOCATION**

SEE PS904054M FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 THOROUGHbred LANE BENALLA VIC 3672

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 18601V BANKWEST  
Effective from 04/10/2023

DOCUMENT END

AREA SCHEDULE:	
SITE AREA (APPROX):	<b>4657 m<sup>2</sup></b>
TOTAL BUILT AREA:	<b>481.46 m<sup>2</sup></b>
SITE COVER	<b>10.34%</b>
REMAINING COVER	<b>89.66%</b>
AREAS INCLUDE: PADS, PATHS, D'WAY	
AREAS EXCLUDE: D'WAY BY OWNER, SHED, CROSSOVER, EXISTING STRUCTURES	

**DRAWING LIST**

1	COVER SHEET
2	OVERALL SITE PLAN
3	DETAIL SITE PLAN
4	FLOOR PLAN
5	DIM. FLOOR PLAN
6	ELEVATIONS
7	ELEVATIONS
8	SECTION A-A
9	ELECTRICAL PLAN
10	BAL 12.5 NOTES
11	SCHEDULES
12	INTERNALS
13	INTERNALS
14	INTERNALS
15	INTERNALS
16	AREA PLAN

**PROPOSED NEW RESIDENCE  
AT LOT 33 THOROUGHbred LANE,  
BENALLA, VICTORIA, 3672**



LEGEND	
AC	AIR CONDITIONING UNIT (LOCATION)
AAW	ALUMINIUM FRAMED AWNING WINDOW
ACW	ALUMINIUM CASEMENT WINDOW
ADH	ALUM. FRAMED DOUBLE HUNG WINDOW
AFW	ALUMINIUM FRAMED FIXED WINDOW
ALW	ALUMINIUM FRAMED LOUVRE WINDOW
ASD	ALUMINIUM FRAMED SLIDING DOOR
ASW	ALUMINIUM FRAMED SLIDING WINDOW
BAL	BALUSTRADE/GRABRAIL
B/O	BEAM OVER
BRM	BROOM CUPBOARD
BTW	BACK TO WALL (BATH)
CSD	CAVITY SLIDING DOOR
CT	COOKTOP
D-HR	DOUBLE HANGING RAIL (TO BUILDERS SPEC.)
DP	DOWNPIPE LOCATION
DRY	DRYER MACHINE (LOCATION)
DS	DRAWER & SHELF UNIT (TO BUILDERS SPEC.)
DTR	DOUBLE TOWEL RAIL
DW	DISHWASHER (PROVISION)
FG	FIELD GULLY (LOCATION)
FW	FLOOR WASTE
H-TR	HAND TOWEL RAIL
H/U	HEAD UNIT (FOR INTERNAL AIR CON UNIT)
HWU	HOT WATER UNIT (LOCATION)
INTEGR	INTERGRATED
MW	MICROWAVE (PROVISION)
MH	MAN HOLE
M-SD	MIRROR SLIDING DOOR
NOM	NOMINAL (SIZE)
OBS	OBSCURE GLAZING
OHC	OVERHEAD CUPBOARD/S
OHS	OVERHEAD SHELF/VES
OTS	OWNER TO SUPPLY
PD	PLUMBING DUCT
RA	RETURN AIR (DUCT)
REF	REFRIGERATOR (PROVISION)
RH	RANGEHOOD (LOCATION)
RWH	RAINWATER HEAD (WITH DOWNPIPE)
S-HR	SINGLE HANGING RAIL (TO BUILDERS SPEC.)
SD	SLIDING DOOR/S
SH	SHELF/SHELVES
SHR	SHOWER
SHS	SQUARE HOLLOW SECTION (COLUMN)
SPR	SPREADER (WITH DOWNPIPE)
STR	SINGLE TOWEL RAIL
SU	SHELVING UNIT (TO BUILDERS SPEC.)
TRNG	TOWEL RING
TBC	TO BE CONFIRMED
TRH	TOILET ROLLER HOLDER
U/B	UNDER BENCH (LOCATION)
U/M	UNDER MOUNT
UBO	UNDER BENCH OVEN
VB	VANITY BASIN
V-SD	VINYL SLIDING DOOR
WB	WALL BASIN
WC	WATER CLOSET
WM	WASHING MACHINE (PROVISION)
WO	WALL OVEN (CABINETY TOWER)
WT	WASH TUB

GENERAL NOTES	
1.	USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
2.	CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SETOUT.
3.	REFER SCHEDULE FOR DESCRIPTION OF CODES FOR FINISHES AND MATERIALS.
4.	REFER ANY DISCREPANCIES TO WINK & CO PTY LTD.
5.	ALL WORKS TO BE IN ACCORDANCE WITH THE CURRENT AMENDMENTS OF BUILDING CODE OF AUSTRALIA, STANDARD BUILDING BY-LAWS 1975-1991, BUILDING ACT AMENDMENT ACT.
6.	ALL STORM WATER DISCHARGE TO BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES REQUIREMENTS.
7.	ALL SEWER CONNECTIONS TO BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES REQUIREMENTS.
8.	FOOTPATHS, KERBS AND CHANNEL AND ROAD PAVEMENT TO BE RECTIFIED TO THE SATISFACTION OF THE MANAGER OF WORKS OF THE LOCAL AUTHORITY.
9.	TERMITE PROTECTION TO BE ACHIEVED BY MONOLITHIC SLAB CONSTRUCTION, SLAB EDGE AND INSPECTION ZONE. PROVIDE TERMIMESH TO ALL AREAS WHERE INSPECTION ZONE CAN NOT BE ACHIEVED.
10.	ALL FLOOR & WALL LININGS CONTINUE UNDER AND BEHIND JOINERY ITEMS.
11.	CONTRACTOR RESPONSIBLE FOR STRUCTURAL ADEQUACY OF FRAMING TO BULKHEADS.
12.	VERIFY THE LOCATION OF EXISTING SERVICES AND PUBLIC UTILITIES PRIOR TO COMMENCEMENT.
13.	PROVIDE ALL NECESSARY EXPANSION AND MOVEMENT JOINTS.
14.	THE EXTERIOR OF THE BUILDING IS TO BE COMPLETELY WEATHERTIGHT AT COMPLETION.
15.	PROVIDE ACCESS FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH REQUIREMENTS OF THE APPLICABLE VERSIONS OF THE BCA.
16.	DURING CONSTRUCTION IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH THE BCA PART E1.9.
17.	REFER TO SURVEY DRAWINGS AND ARCHITECTURAL DRAWINGS FOR BUILDING SETOUT.
18.	REFER TO SERVICE ENGINEERS DRAWINGS FOR DETAILED INFORMATION RELATED TO MECHANICAL VENTILATION, HYDRAULIC, ELECTRIC, FIRE, AND SECURITY WORK.
19.	REFER TO CIVIL ENGINEER'S DRAWINGS FOR ROAD WORK LEVELS AND OTHER CIVIL WORK.
20.	REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR CONCRETE SLABS, FOUNDATION AND FOOTINGS DETAILS, TIE DOWN DETAILS AND BEAM SIZES, ETC.
21.	EXCAVATE AS REQUIRED, FALL PLATFORM AWAY FROM BUILDING, DRAIN ALL CUTS.
22.	LEVELS ARE TO BE CONFIRMED ON SITE.
23.	REINFORCED CONCRETE SLABS SHALL BE LAID OVER WATERPROOF MEMBRANE AND OVER 50mm SAND BED.
24.	TREAT UNDER SLAB TO CURRENT AUSTRALIAN STANDARDS. REFER ENGINEER'S DETAILS.
25.	ALL SLABS SHALL HAVE A MINIMUM WORKING TOLERANCE OF +/- 3mm IN 3000mm IN LEVEL.
26.	ALL HANDRAILS AND BALUSTRADES TO COMPLY WITH NCC PART 3.9.2
27.	FOR ALL BALCONIES BALUSTRADE TO BE MIN. 1000mm ABOVE FINISHED FLOOR LEVEL.
28.	PROTECTION OF OPENABLE WINDOWS; WHERE AN OPENABLE WINDOW SILL IS LESS THAN 1.7m ABOVE THE FLOOR LEVEL AND GREATER THAN 2m ABOVE THE OUTSIDE SURFACE BENEATH IT THE OPENING PART OF THE WINDOW MUST BE FITTED WITH A PROTECTION DEVICE OR SCREEN RESTRICTING THE WINDOW OPENING IN ACCORDANCE WITH THE BCA, PART D2.23.
29.	ALL LOAD BEARING EXTERNAL BALCONY COLUMNS TO ACHIEVE AN FRL NOT LESS THAN 90/-/- AS PER BCA SPEC C1.1 - TABLE 3.
30.	SCREENS, BALUSTRADES, PLANTERS OR AC UNITS MUST NOT FACILITATE CLIMBING BETWEEN 150mm-760mm AFFL.
31.	PROVIDE HEADROOM TO ALL STAIRS AND STAIRWELLS TO COMPLY WITH NCC FIG. 3.8.2.2
32.	AT ALL TIMES COMPLY WITH BCA AND LOCAL BUILDING AUTHORITIES REQUIREMENTS. BUILDER TO SATISFY REQUIREMENTS OF THE DA CONDITIONS.
33.	SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH NCC SPECIFICATION 3.7.5.3 & 3.7.5.5
34.	WET AREAS TO COMPLY WITH BCA BY-LAWS F1.7.
35.	FLASH ALL PENETRATIONS THROUGH ROOF.
36.	FOR DOWNPIPE LOCATIONS AND SIZES REFER TO HYDRAULIC ENGINEER'S DRAWINGS.
37.	WORKSHOP DRAWINGS TO BE PROVIDED (JOINERY, RECON STONE BENCHTOPS AND SPLASHBACKS).

**CERTIFICATION NOTES**

1.	ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 & AS2047	10.	ALL EXTERNAL STAIR TREADS OR NOSING ARE TO BE SLIP RESISTANT IN ACCORDANCE WITH BCA D2.13 AND TABLE D2.14 WHEN TESTED IN ACCORDANCE WITH AS4586.
2.	TIMBER FRAMING & ALL WALL FRAMING TO BE IN ACCORDANCE WITH AS1684-2021 & NCC H1D6, H1D7	11.	<b>PROVIDE LIFT OFF HINGES TO WCS WHERE THE PAN IS LESS THAN 1200mm TO THE HINGE SIDE OF THE DOOR</b>
3.	TIMBER LINTELS TO BE INSTALLED & TO COMPLY WITH AS1684-2021 & NCC H1D6	12.	PROVIDE MECHANICAL VENTILATION TO ALL LAUNDRIES AND OTHER INTERNALISED BATHROOMS WITHOUT OPERABLE WINDOWS.
4.	MASONRY WALL CONSTRUCTION TO BE IN ACCORDANCE WITH AS3700	13.	SCREENS AND BALUSTRADES AND AIR-CONDITIONING UNITS MUST NOT BE DESIGNED TO FACILITATE CLIMBING BETWEEN 150mm-760mm ABOVE FFL.
5.	STORMWATER MANAGEMENT SYSTEM SELECTION & INSTALLATION TO BE IN ACCORDANCE WITH AS3500	14.	WINDOWS TO BEDROOMS WITH AN OPENABLE PORTION LOCATED LESS THAN 1700mm FROM FLOOR LEVEL ARE TO BE PHYSICALLY RESTRICTED FROM OPENING MORE THAN 125mm OR BE PROTECTED BY A TESTED LOAD RESTRICTING SCREEN DEVICE (EG. SECURITY SCREEN) CAPABLE OF WITHSTANDING NO LESS THAN 250N.
6.	TIMBER ROOFING TO COMPLY WITH AS1684-2021 & NCC H1D6	15.	STAIRS TO HAVE A CONTINUOUS HANDRAIL ON ONE SIDE.
7.	METAL SHEET ROOFING TO BE IN ACCORDANCE WITH AS1562.1		
8.	VAPOUR BARRIER TO BE IN ACCORDANCE WITH NCC 3.8.7.2, AS4200.1 & AS4200.2		
9.	ALL WET AREAS WATERPROOFING TO BE IN ACCORDANCE WITH CLAUSE 10.2.1 TO 10.2.6 & 10.2.12 OF THE ABCB HOUSING PROVISIONS; AS3740-2021; & NCC PART 10.2		

NOTE: 3D PERSPECTIVE IS REPRESENTATIVE OF THE DWELLINGS FORM ONLY AND SHOULD NOT BE REFERRED TO FOR ACCURATE FINISHES, DRIVEWAY OR EARTHWORKS

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PLANS BY  
**WINK + CO**  
07 3060 5089  
projects@winkandco.com.au  
WINKANDCO.COM.AU  
QBCC 1194316 | TAS - CC7004



**Hadar**  
197-199 MELBOURNE ROAD,  
WODONGA, VIC, 3690  
P: 02 8055 7900, M: 0400 010 892  
www.hadar.com.au

CLIENT: <b>CHRISTOPHER &amp; CAITLIN BELL</b>	PROJECT: PROPOSED NEW RESIDENCE <b>Lot 33 PS904054M</b>
DRAWING TITLE: <b>COVER SHEET</b>	<b>THOROUGHbred LANE</b> <b>BENALLA, VIC., 3672</b>
SCALE:	


PAGES: 1 of 16	SHEET SIZE: <b>A3</b>	AREA <b>LIVING: 321.09 m<sup>2</sup></b> <b>ALFRESCO: 57.77 m<sup>2</sup></b> <b>POORCH: 11.42 m<sup>2</sup></b> <b>GARAGE: 53.21 m<sup>2</sup></b> <b>TOTAL: 443.49 m<sup>2</sup></b>
PROJECT No: <b>HA573</b>		
WINK + CO Job No: 058-24		

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	22/06/23	SM	EK
F	AMENDMENTS	06/11/23	TO	EK
G	AMENDMENTS	15/11/23	ACG	EK
H	AMENDMENTS	12/01/24	KS	EK
I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK

NOTES:  
 - GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS AND RETAINING ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.  
 - ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.  
 - WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED  
 - NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER  
 - REFER TO ENGINEERS DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS AND STORMWATER DETAILS.  
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).  
 - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.  
 - LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

**BAL: 12.5**  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018

SURVEY BY:



Level 4, 469 La Trobe St Melbourne  
 VIC 3000 03 8371 0100  
 Derrimut 03 8857 8300  
 Pakenham 03 5251 8382  
 Geelong 02 4889 3666  
 New South Wales 07 3007 0800  
 Queensland 08 8185 0122  
 South Australia  
 A.S.N. 31 306 481 252  
 www.intrax.com.au

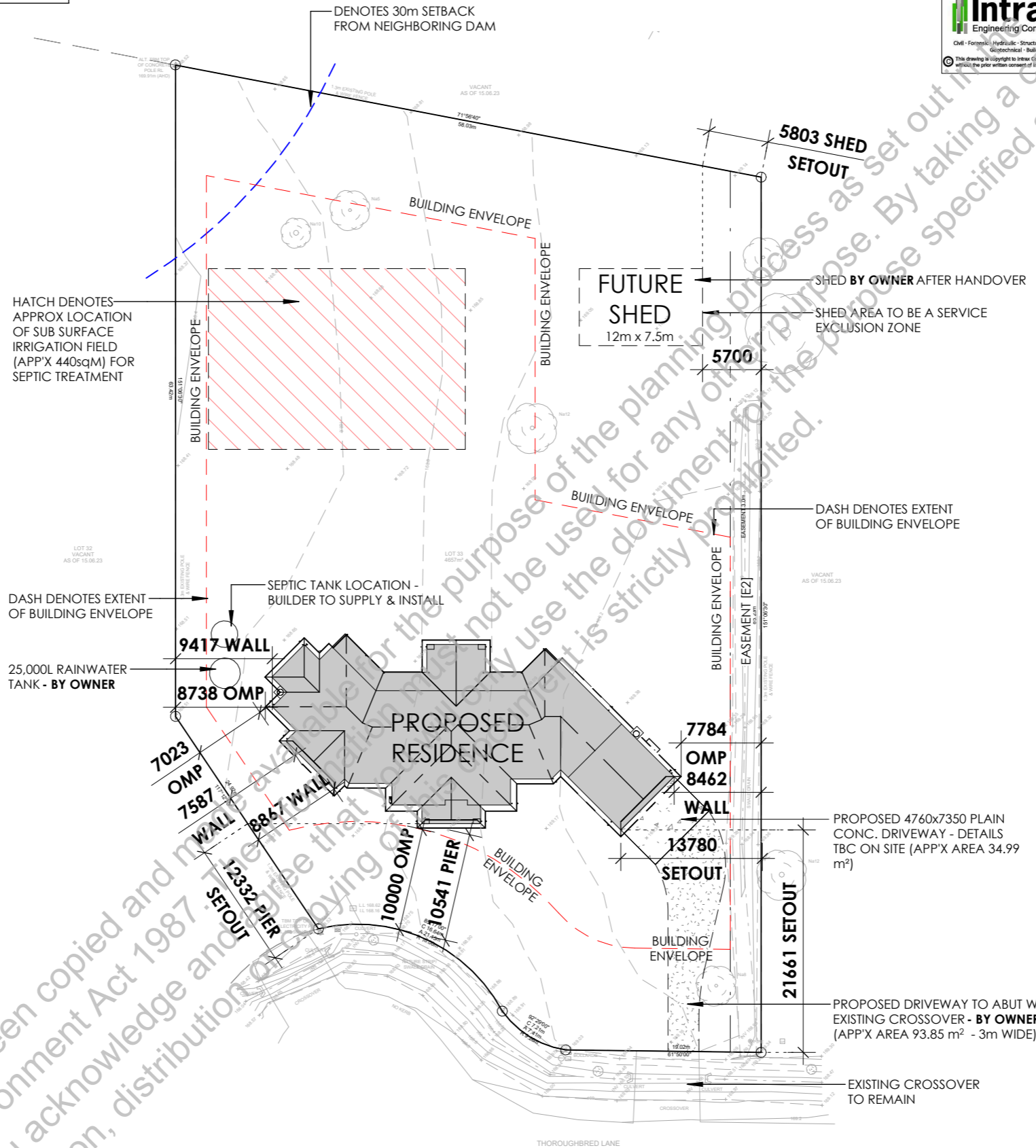
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 Geotechnical - Building Services

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AREA SCHEDULE:

SITE AREA (APPROX):	4657 m <sup>2</sup>
TOTAL BUILT AREA:	481.46 m <sup>2</sup>
SITE COVER	10.34%
REMAINING COVER	89.66%

AREAS INCLUDE: PADS, PATHS, D'WAY  
 AREAS EXCLUDE: D'WAY BY OWNER, SHED, CROSSOVER, EXISTING STRUCTURES



FINAL METER BOX LOCATION & DOWNPIPE LOCATIONS TO BE CONFIRMED BY BUILDER

NOTE:  
 DIRECTION FROM THE SURVEYORS REGISTRATION BOARD OF VICTORIA STATES FULLY DIMENSIONED TITLE & EASEMENTS ARE NOT ALLOWED TO BE SHOWN UNLESS VERIFIED BY A LICENSED SURVEYOR CONDUCTING A TITLE RE-ESTABLISHMENT SURVEY.

AN APPROXIMATE SITE OUTLINE HAS BEEN SHOWN IN THIS INSTANCE.

NOTE:  
 1. LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) - PM 16 - RL 166.741 AS OF 14.06.23.  
 2. AHD HEIGHT HAS BEEN DETERMINED FROM THE PM NOTED ABOVE. THIS INFORMATION HAS BEEN OBTAINED FROM THE SURVEY MARKS ENQUIRY SERVICE (SMES) WEBSITE. THE ACCURACY OF THIS INFORMATION IS TO +/- 50mm. INTRAX CONSULTING ENGINEERS PTY LTD TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM (SMES). SHOULD THE CLIENT WISH TO CONFIRM THE SMES PM MARKER THIS OFFICE SHOULD BE CONTACTED FOR A MORE DETAILED INVESTIGATION.

NOTE:  
 DUE TO LONG GRASS ACROSS THE SITE & NATURE STRIP, SOME SERVICES MAY BE OBSCURED AND THEREFORE EITHER APPROXIMATELY LOCATED OR UNABLE TO BE LOCATED AT THE TIME OF THE SURVEY.

SITE FILL NOTE:  
 CLIENT TO IMPORT 2m OF FILL BEYOND HOUSE PERIMETER PRIOR TO CONSTRUCTION

WIND CLASSIFICATION: N2

SOIL CLASSIFICATION: P

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PLANS BY  
**WINK + CO**  
 07 3060 5089  
 projects@winkandco.com.au  
 WINKANDCO.COM.AU  
 QBCC 1194316 | TAS - CC7004



**Hadar**  
 197-199 MELBOURNE ROAD,  
 WODONGA, VIC, 3690  
 P: 02 8055 7900, M: 0400 010 892  
 www.hadar.com.au

CLIENT:  
**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**OVERALL SITE PLAN**

SCALE: 1 : 500

PROJECT: PROPOSED NEW RESIDENCE  
 Lot 33 PS904054M  
 THOROUGHbred LANE  
 BENALLA, VIC., 3672

PAGES: 2 of 16	SHEET SIZE: A3	AREA
PROJECT No: HA573	LIVING: 321.09 m <sup>2</sup>	ALFRESCO: 57.77 m <sup>2</sup>
WINK + CO	PORCH: 11.42 m <sup>2</sup>	GARAGE: 53.21 m <sup>2</sup>
Job No: 058-24	TOTAL: 443.49 m <sup>2</sup>	



REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	22/06/23	SM	EK
F	AMENDMENTS	06/11/23	TO	EK
G	AMENDMENTS	15/11/23	ACG	EK
H	AMENDMENTS	12/01/24	KS	EK
I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK

NOTE:  
DIRECTION FROM THE SURVEYORS REGISTRATION BOARD OF VICTORIA STATES FULLY DIMENSIONED TITLE & EASEMENTS ARE NOT ALLOWED TO BE SHOWN UNLESS VERIFIED BY A LICENSED SURVEYOR CONDUCTING A TITLE RE-ESTABLISHMENT SURVEY.

AN APPROXIMATE SITE OUTLINE HAS BEEN SHOWN IN THIS INSTANCE.

NOTE:  
1. LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) - PM 16 - RL 166.741 AS OF 14.06.23.  
2. AHD HEIGHT HAS BEEN DETERMINED FROM THE PM NOTED ABOVE. THIS INFORMATION HAS BEEN OBTAINED FROM THE SURVEY MARKS ENQUIRY SERVICE (SMES) WEBSITE. THE ACCURACY OF THIS INFORMATION IS TO +/- 50mm. INTRAX CONSULTING ENGINEERS PTY LTD TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM (SMES). SHOULD THE CLIENT WISH TO CONFIRM THE SMES PM MARKER THIS OFFICE SHOULD BE CONTACTED FOR A MORE DETAILED INVESTIGATION.

NOTE:  
DUE TO LONG GRASS ACROSS THE SITE & NATURE STRIP, SOME SERVICES MAY BE OBSCURED AND THEREFORE EITHER APPROXIMATELY LOCATED OR UNABLE TO BE LOCATED AT THE TIME OF THE SURVEY.

NOTES.  
- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS AND RETAINING ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.  
- ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.  
- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED  
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER  
- REFER TO ENGINEERS DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS AND STORMWATER DETAILS.  
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).  
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.  
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

**SITE FILL NOTE:**  
CLIENT TO IMPORT 2m OF FILL BEYOND HOUSE PERIMETER PRIOR TO CONSTRUCTION

**BAL: 12.5**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018


FINAL METER BOX LOCATION & DOWNPIPE LOCATIONS TO BE CONFIRMED BY BUILDER

**AREA SCHEDULE:**  
SITE AREA (APPROX): **4657 m<sup>2</sup>**  
TOTAL BUILT AREA: **481.46 m<sup>2</sup>**  
SITE COVER **10.34%**  
REMAINING COVER **89.66%**  
AREAS INCLUDE: PADS, PATHS, D'WAY  
AREAS EXCLUDE: D'WAY BY OWNER, SHED, CROSSOVER, EXISTING STRUCTURES

**SOIL CLASSIFICATION: P**  
**WIND CLASSIFICATION: N2**

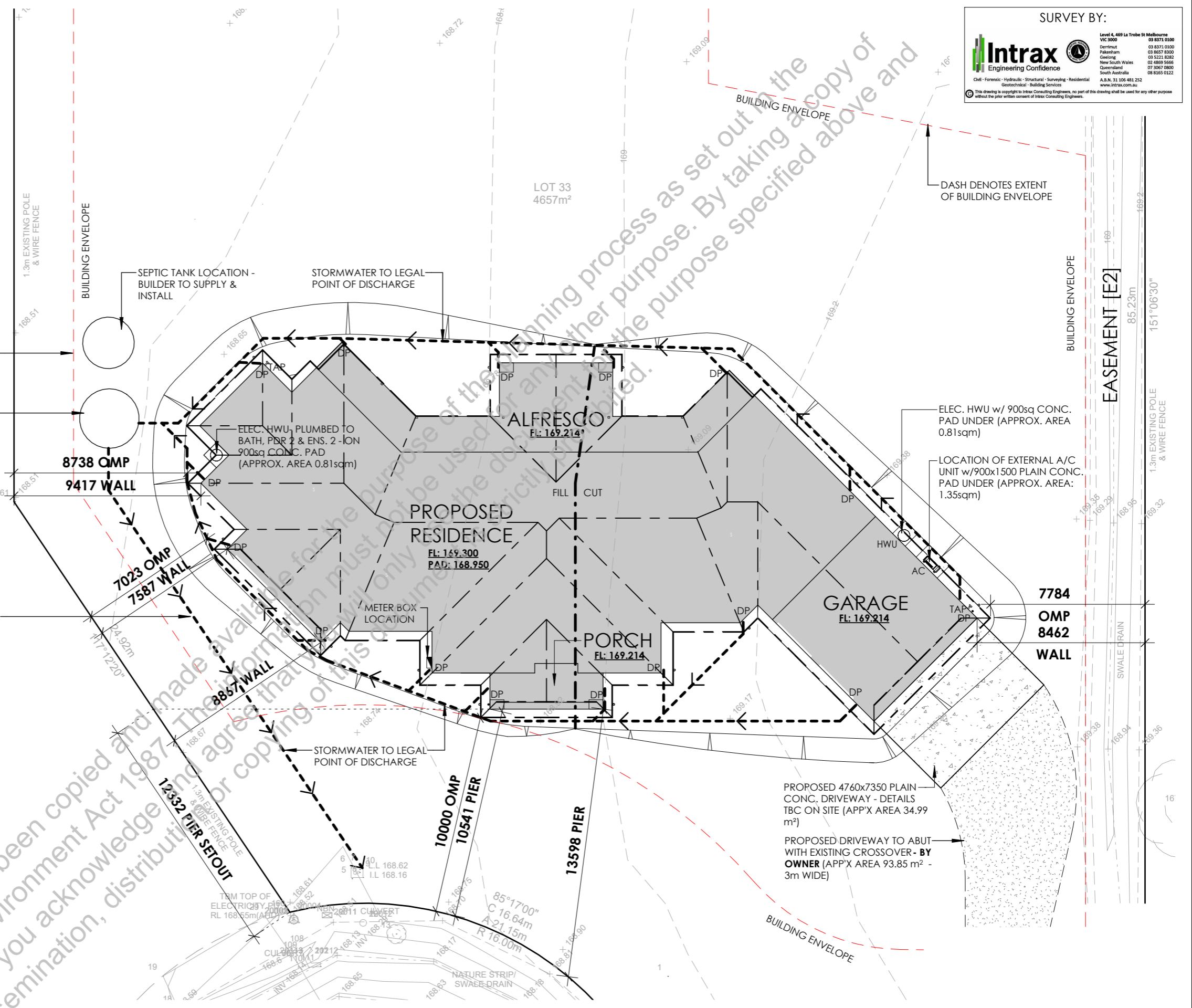
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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**  
DRAWING TITLE:  
**DETAIL SITE PLAN**

PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHBRD LANE**  
**BENALLA, VIC., 3672**

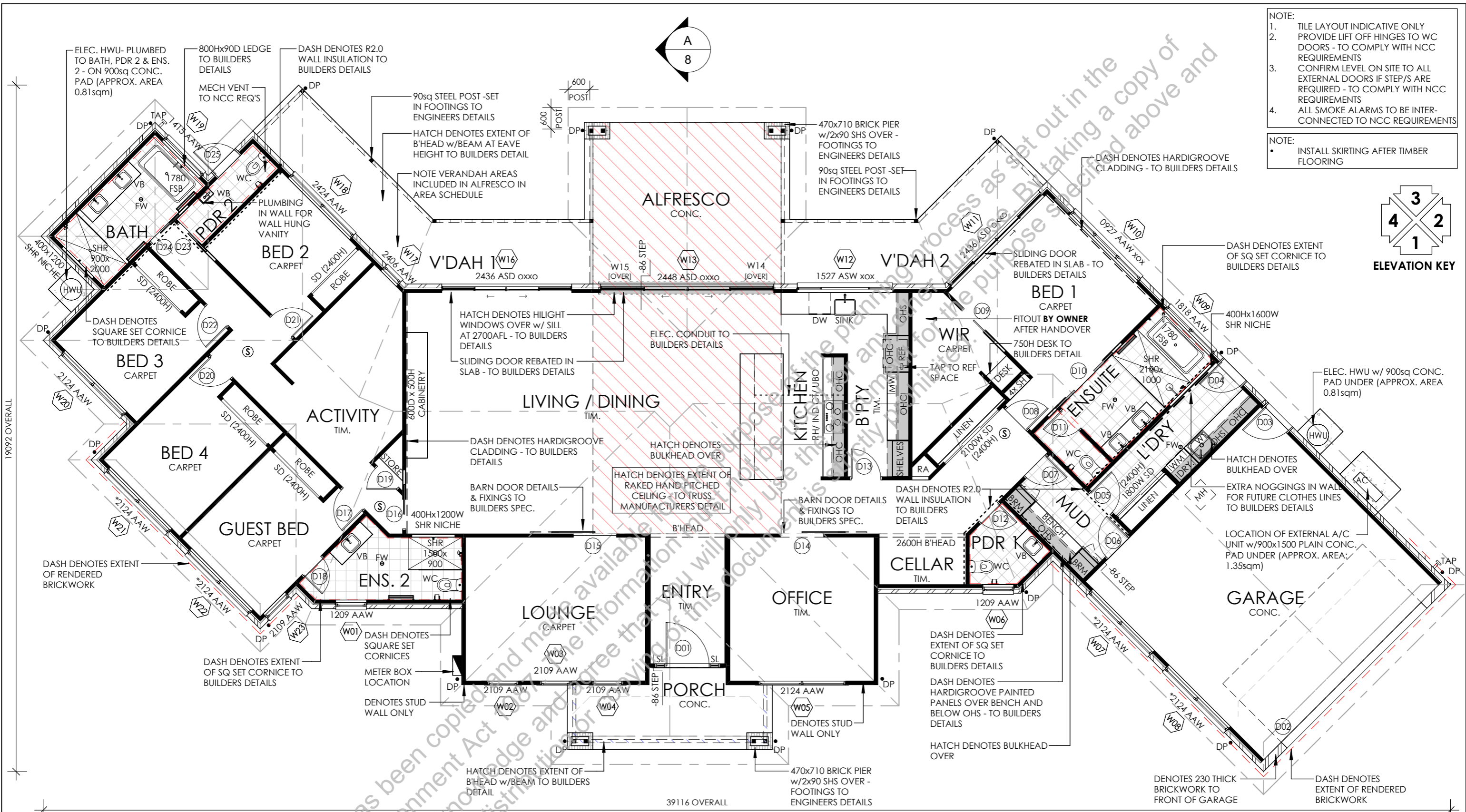
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PAGES: 3 of 16	SHEET SIZE: A3	<b>AREA</b>
<b>PROJECT No:</b> HA573	<b>LIVING:</b> 321.09 m <sup>2</sup>	<b>ALFRESCO:</b> 57.77 m <sup>2</sup>
<b>WINK + CO</b>	<b>PORCH:</b> 11.42 m <sup>2</sup>	<b>GARAGE:</b> 53.21 m <sup>2</sup>
<b>Job No:</b> 058-24	<b>TOTAL:</b> 443.49 m <sup>2</sup>	



REV	COMMENTS	DATE	DRWN	CKD
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I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK





- NOTE:
- TILE LAYOUT INDICATIVE ONLY
  - PROVIDE LIFT OFF HINGES TO WC DOORS - TO COMPLY WITH NCC REQUIREMENTS
  - CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED - TO COMPLY WITH NCC REQUIREMENTS
  - ALL SMOKE ALARMS TO BE INTER-CONNECTED TO NCC REQUIREMENTS

NOTE:

- INSTALL SKIRTING AFTER TIMBER FLOORING



- GENERAL NOTES:
- EXTERNAL WALLS ARE 240mm BRICK VENEER (110 BRICK/40 CAVITY/90 STUD) OR 90mm STUD w/ SELECTED CLADDING-DETAILS TBC BY BUILDER
  - ALL WORKS TO BE IN ACCORDANCE WITH NCC
  - VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
  - CONCRETE FOOTINGS & SLAB TO COMPLY WITH AS 2870
  - ROOF FRAMING TO BE MGP10 FRAMING TO AS1684 OR MGP10 TO MANUFACTURER'S REQUIREMENTS

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**BAL: 12.5**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018

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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**FLOOR PLAN**

PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
**BENALLA, VIC., 3672**

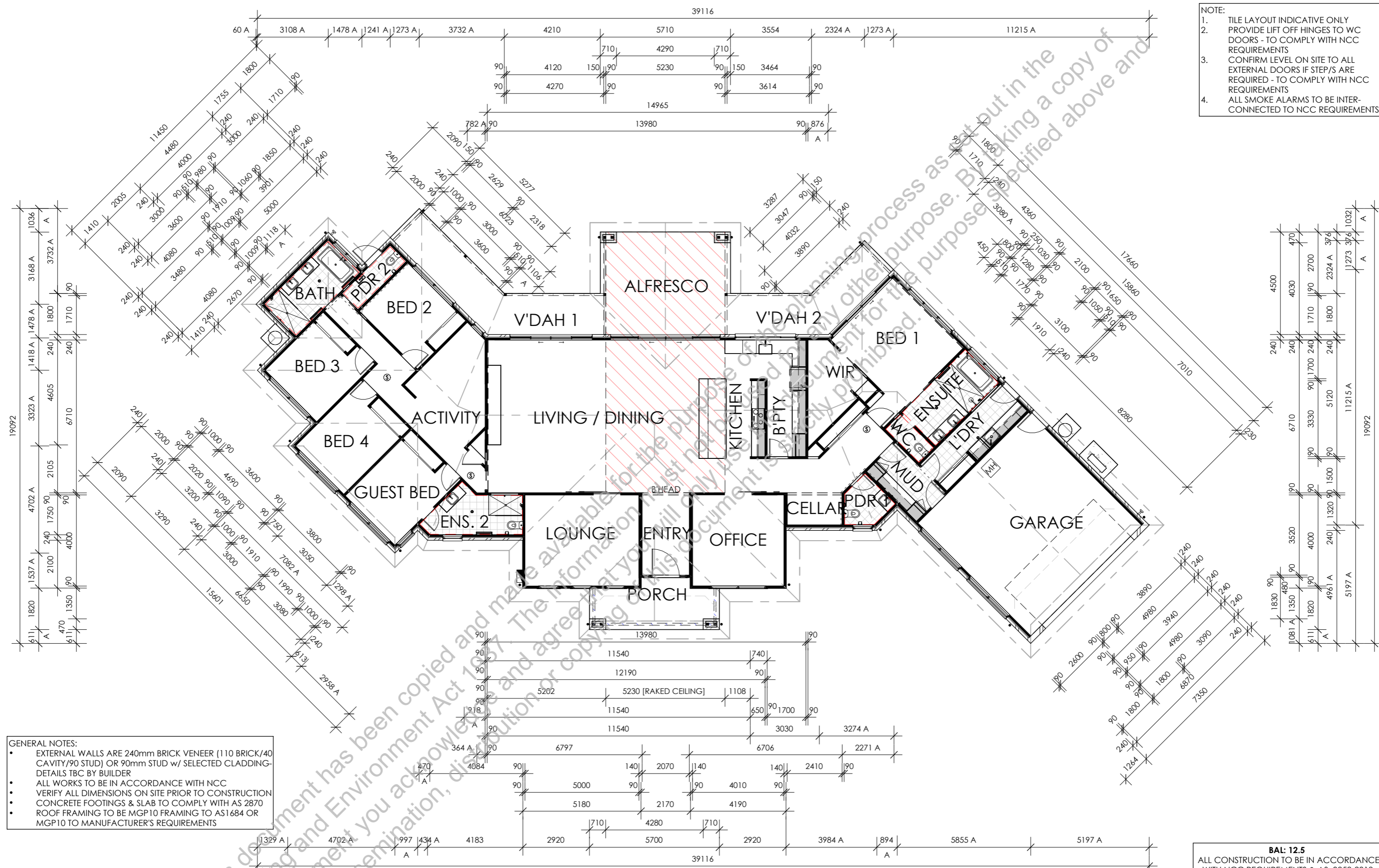
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PAGES:	4 of 16	SHEET SIZE:	A3
PROJECT No:	HA573	AREA	
WINK + CO		LIVING:	321.09 m <sup>2</sup>
Job No:	058-24	ALFRESCO:	57.77 m <sup>2</sup>
		PORCH:	11.42 m <sup>2</sup>
		GARAGE:	53.21 m <sup>2</sup>
		TOTAL:	443.49 m <sup>2</sup>



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- NOTE:
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  4. ALL SMOKE ALARMS TO BE INTER-CONNECTED TO NCC REQUIREMENTS



**GENERAL NOTES:**

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**BAL: 12.5**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018

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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**DIM. FLOOR PLAN**

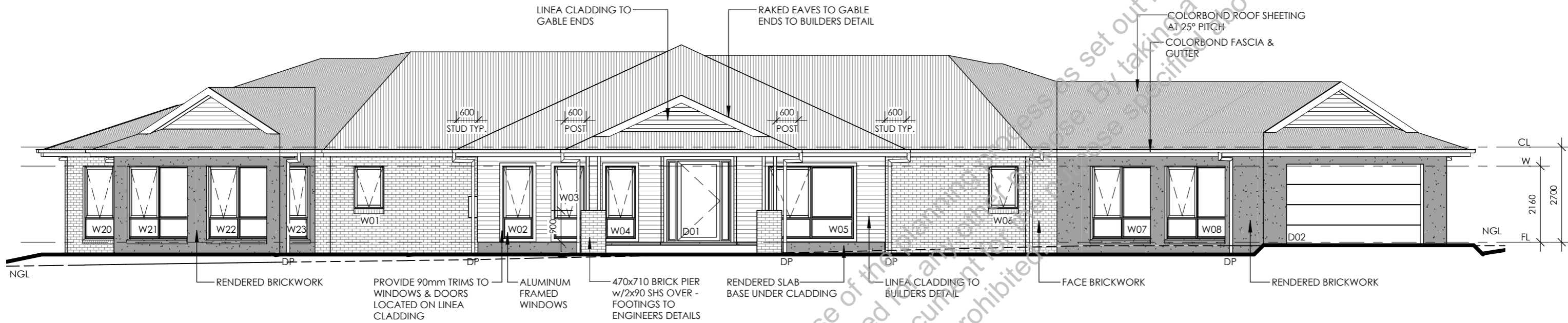
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PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
**BENALLA, VIC., 3672**

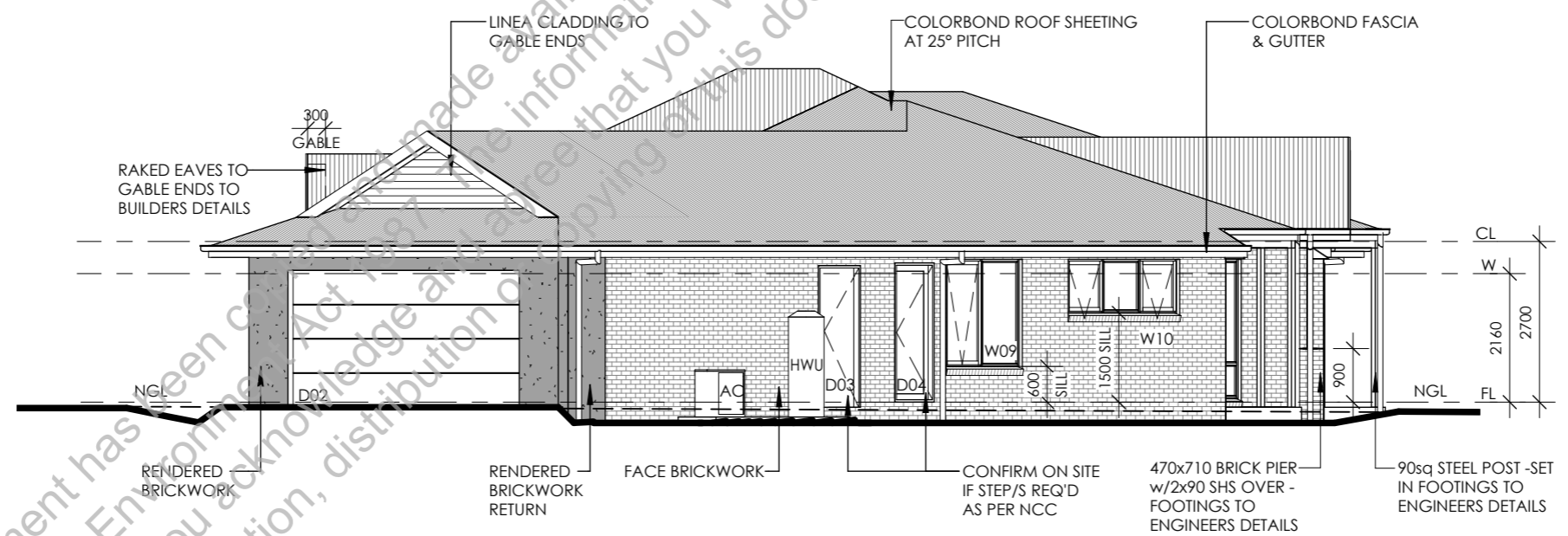
PAGES: 5 of 16	SHEET SIZE: A3	<b>AREA</b>
<b>PROJECT No:</b> HA573	<b>LIVING:</b> 321.09 m <sup>2</sup>	<b>ALFRESCO:</b> 57.77 m <sup>2</sup>
<b>WINK + CO</b>	<b>PORCH:</b> 11.42 m <sup>2</sup>	<b>GARAGE:</b> 53.21 m <sup>2</sup>
<b>Job No:</b> 058-24	<b>TOTAL:</b> 443.49 m <sup>2</sup>	



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# 1 | FRONT ELEVATION



# 2 | SIDE ELEVATION

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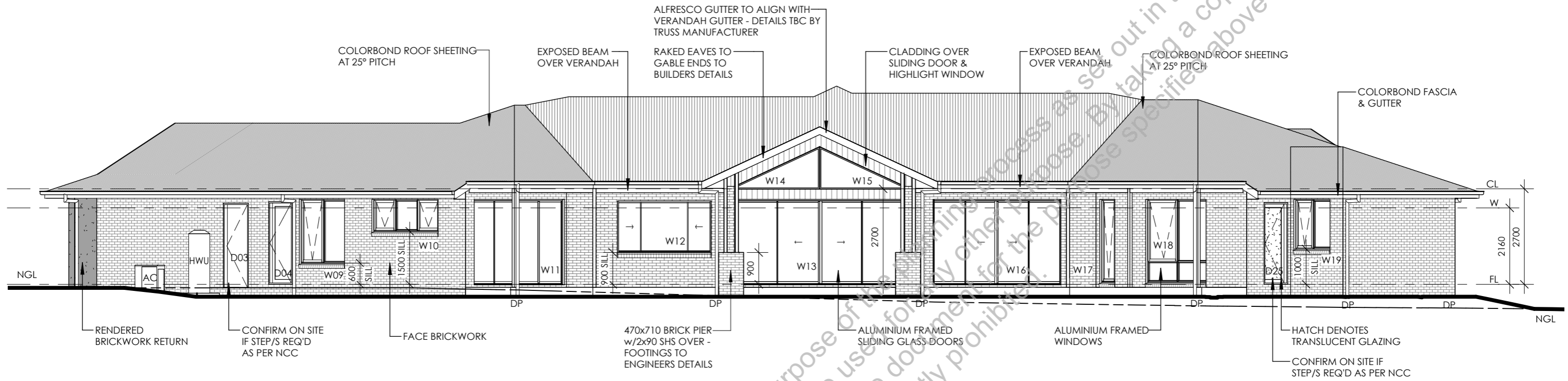
CLIENT:  
**CHRISTOPHER & CAITLIN BELL**  
DRAWING TITLE:  
**ELEVATIONS**

PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
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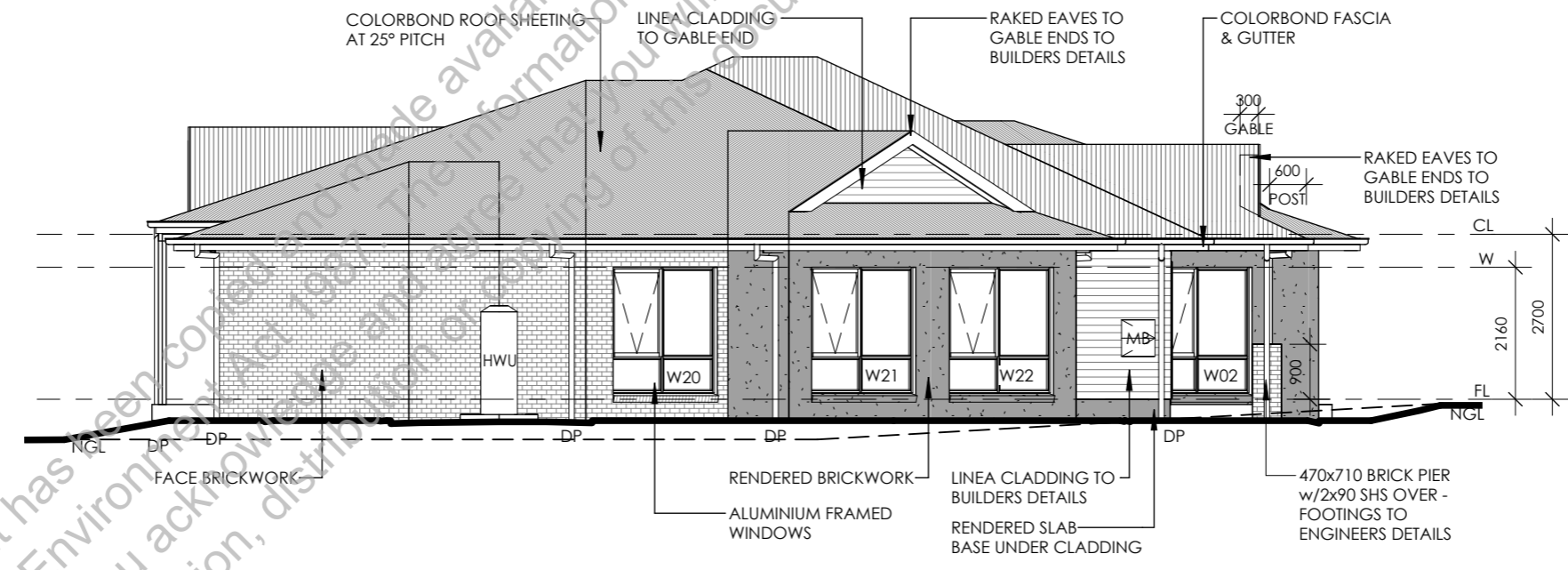
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PAGES: 6 of 16	SHEET SIZE: <b>A3</b>	<b>AREA</b>
<b>PROJECT No:</b> <b>HA573</b>		<b>LIVING:</b> 321.09 m <sup>2</sup>
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<b>Job No: 058-24</b>		<b>PORCH:</b> 11.42 m <sup>2</sup>
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3 REAR ELEVATION



4 SIDE ELEVATION

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DRAWING TITLE:  
**ELEVATIONS**

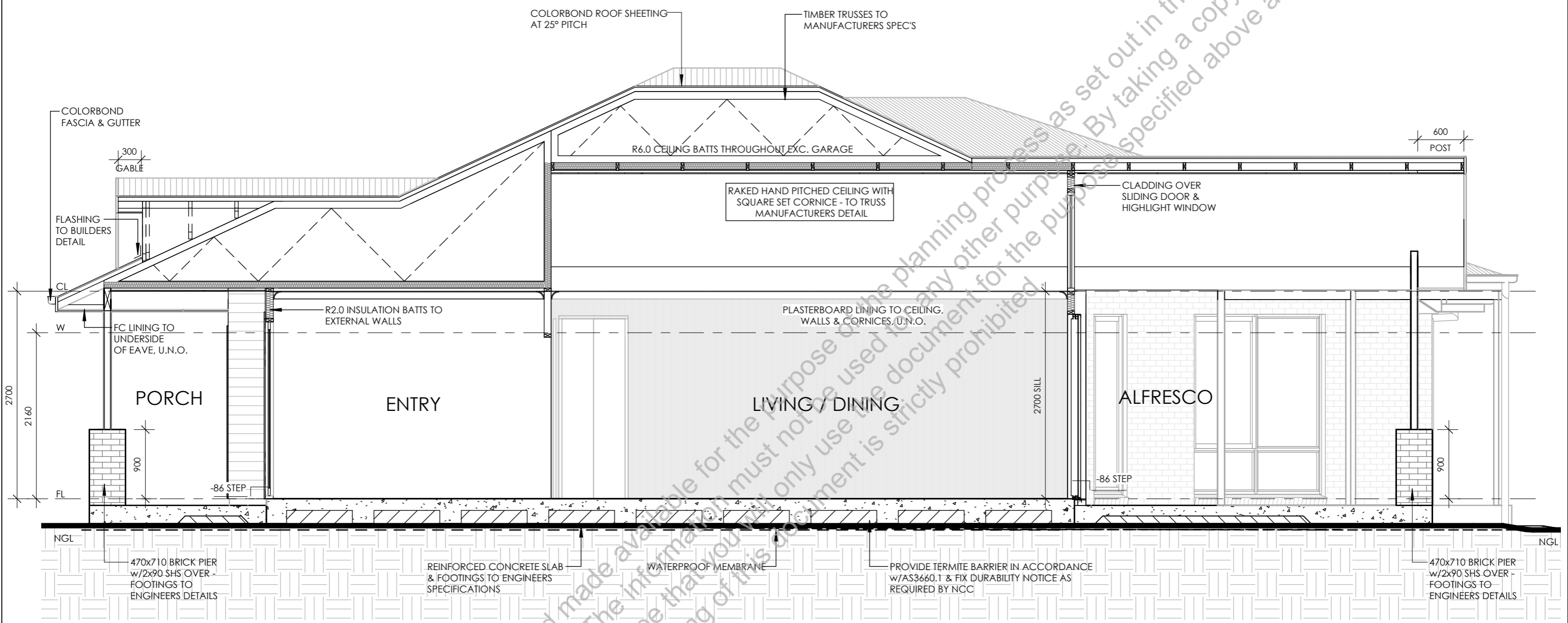
PROJECT: PROPOSED NEW RESIDENCE  
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**BENALLA, VIC., 3672**

SCALE: 1 : 110

PAGES: 7 of 16	SHEET SIZE: <b>A3</b>	<b>AREA</b>
<b>PROJECT No:</b> <b>HA573</b>		<b>LIVING:</b> 321.09 m <sup>2</sup>
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<b>Job No: 058-24</b>		<b>PORCH:</b> 11.42 m <sup>2</sup>
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**BAL: 12.5**  
 ALL CONSTRUCTION TO BE IN ACCORDANCE  
 WITH NCC REQUIREMENTS & AS. 3959-2018



- NOTES:**
1. THESE DOCUMENTS (ARCHITECTURAL PLANS) ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, ENGINEER'S DOCUMENTS, MANUFACTURER'S REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS.
  2. LEVELS ARE APPROXIMATE ONLY. CONFIRM ON SITE PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
  3. THE DOCUMENTS WHICH CONSTITUTE OR EVIDENCE THE BUILDING WORK SHALL BE TAKEN AS MUTUALLY EXPLANATORY AND ANYTHING CONTAINED IN ONE BUT NOT IN ANOTHER SHALL BE EQUALLY BINDING AS IF CONTAINED IN ALL.
  4. ALL PROPRIETARY ITEMS, EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE CARRIED OUT TO AT LEAST THE STANDARDS, REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND/OR SUPPLIER AS SET OUT IN THEIR CURRENT PUBLISHED DOCUMENTS PRODUCT OR SYSTEM. WHERE USED IN COMBINATION WITH A PRODUCT OF A DIFFERENT MANUFACTURER, IS TO BE COMPATIBLE AND TOGETHER COMPLIES WITH RELEVANT AUSTRALIAN STANDARDS.
  5. STRUCTURAL ELEMENTS ON DRAWINGS ARE FOR INFORMATION AND GUIDANCE ONLY. OBTAIN INFORMATION FROM PRACTISING ENGINEERS TO DETERMINE STRUCTURAL REQUIREMENTS.
  6. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. EXACT LOCATION AND NUMBERS TO BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, NCC PART 3.5.2 AND AS/NZS 3500.3, AS/NZS 3500.5.
  7. CHECK ALL DIMENSIONS, BOUNDARY SERVICES (INCLUDING THOSE UNDERGROUND) PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
  8. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND REGULATORY AUTHORITIES REQUIREMENTS.
  9. ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.

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CLIENT:  
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DRAWING TITLE:  
**SECTION A-A**

SCALE: 1 : 50

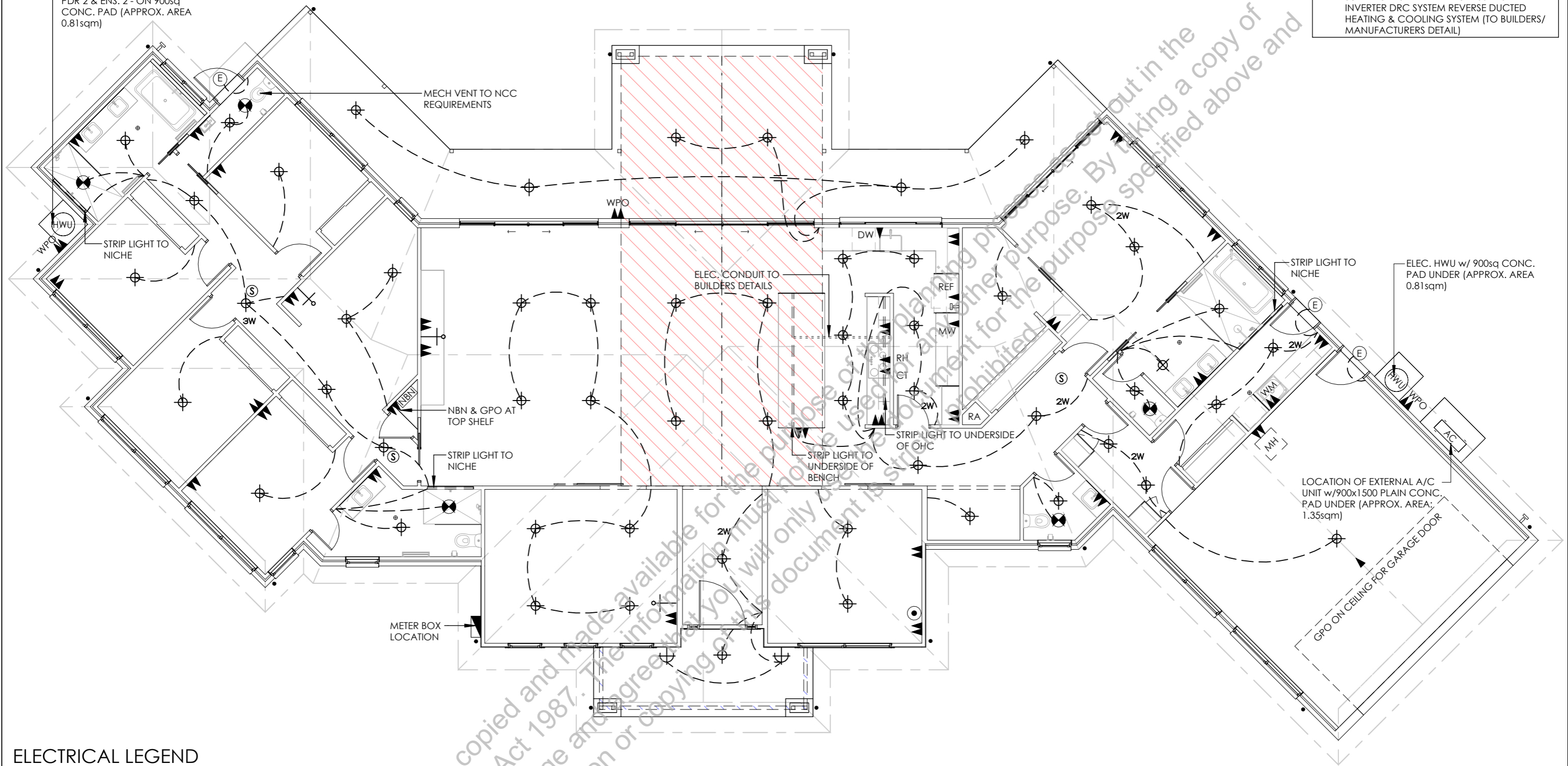
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PAGES: 8 of 16	SHEET SIZE: A3	<b>AREA</b>
PROJECT No: HA573		LIVING: 321.09 m <sup>2</sup>
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Job No: 058-24		ALFRESCO: 53.21 m <sup>2</sup>
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ELEC. HWU- PLUMBED TO BATH,  
PDR 2 & ENS. 2 - ON 900sq  
CONC. PAD (APPROX. AREA  
0.81sqm)

**HEATING & COOLING NOTES:**  
 • SUPPLY & INSTALL MHI-FDUA200AVSAWVH  
 INVERTER DRC SYSTEM REVERSE DUCTED  
 HEATING & COOLING SYSTEM (TO BUILDERS/  
 MANUFACTURERS DETAIL)



**ELECTRICAL LEGEND**

6	2W	2 WAY SWITCH	▽	SPOTLIGHT	AC UNIT	INTERNAL A/C HEAD UNIT	Ⓟ	PENDANT LIGHT	1	3W	THREE WAY SWITCH
3	Ⓢ	SMOKE ALARM TO NCC REQ'S	●	INTERNAL LIGHT	Ⓢ	TASTIC LIGHT (FAN/LIGHT/HEATER)	Ⓧ	EXTERNAL LIGHT	3	DIM	DIMMER SWITCH
56	⊕	LOW VOLTAGE DOWNLIGHT	2	WALL MOUNTED LIGHT - OTS	WPO	SINGLE WATERPROOF POWER POINT	1	NBN LOCATION	5	Ⓢ	EXHAUST FAN
6	▲	SINGLE POWER POINT	28	DOUBLE POWER POINT	USB	DOUBLE POWER POINT w/USB	1	CEILING FAN	1	Ⓢ	CEILING FAN WITH LIGHT
3	Ⓢ	TV POINT	1	DATA POINT	WPO	DOUBLE WATERPROOF POWER POINT	1	METER BOX	1	Ⓢ	GAS TAP
2	HWU	HOT WATER UNIT	GHW	GAS HOT WATER UNIT	AC	EXTERNAL A/C UNIT	1	FLUORESCENT LIGHT	5	==	LED STRIP LIGHT

**NOTES:**  
 • FINAL LAYOUT TBC BY BUILDER/CLIENT  
 • ALL SMOKE ALARMS TO BE HARD WIRED SELF  
 CONTAINED & INTERCONNECTED AS PER AS  
 3786 & NCC REQUIREMENTS  
 OTS DENOTES OWNER TO SUPPLY, BUILDER TO  
 INSTALL

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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**  
 DRAWING TITLE:  
**ELECTRICAL PLAN**  
 SCALE: 1 : 100

PROJECT: PROPOSED NEW RESIDENCE  
 Lot 33 PS904054M  
 THOROUGHbred LANE  
 BENALLA, VIC., 3672

PAGES:	9 of 16	SHEET SIZE:	A3
PROJECT No:	HA573	AREA	
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Job No: 058-24		ALFRESCO:	57.77 m <sup>2</sup>
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J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK

BAL REQUIREMENTS 12.5

BUILDING ELEMENTS		BAL 12.5 REQUIREMENTS	BUILDING ELEMENTS		BAL 12.5 REQUIREMENTS
TILED ROOF		<ul style="list-style-type: none"> <li>FULLY SARKED (FLAMMABILITY INDEX &lt;5).</li> <li>INSTALLED DIRECTLY BELOW TILE BATTENS</li> <li>MUST COVER ENTIRE ROOF AREA, INCLUDING RIDGE &amp; BE INSTALLED SO THAT THERE ARE NO GAPS WHERE SARKING MEETS FASCIA, GUTTERS, VALLEYS &amp; THE LIKE.</li> </ul>	EXTERNAL HINGED DOORS		<ul style="list-style-type: none"> <li>BEHIND BUSH-FIRE SHUTTERS - NR</li> <li>BEHIND SCREENS - NR</li> <li>UNGLAZED DOOR</li> </ul>
SHEET ROOF		<ul style="list-style-type: none"> <li>FULLY SARKED (FLAMMABILITY INDEX &lt;5).</li> <li>FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER BATTENS</li> <li>GAPS GREATER TEN 3mm TO BE SEALED WITH</li> <li>A. MESH WITH A MAX 2mm APERTURE, MADE OF</li> <li>B. MINERAL WOOL</li> <li>C. OTHER NON-COMUSTIBLE MATERIAL CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM</li> </ul>	FLOORS:		<p>JOINERY:</p> <ul style="list-style-type: none"> <li>A. NON-COMBUSTIBLE MATERIALS</li> <li>B. SOLID, MIN 35mm THICK FOR &lt;400mm</li> <li>C. HOLLOW CORE WITH A NON-COMBUSTIBLE KICKPLATE FOR THE LOWER 400mm</li> <li>GLAZED DOOR (GLAZING AS PER WINDOWS)</li> <li>JOINERY LESS THAN 400mm FROM HORIZONTAL</li> <li>A. BUSH-FIRE RESISTANT TIMBER</li> <li>B. TIMBER SPECIES FROM E1</li> <li>C. METAL</li> <li>D. METAL REINFORCED PVC-U</li> <li>JOINERY GREATER THAN 400mm FROM HORIZONTAL - NR</li> </ul>
FASCIA & BARGEBOARDS		NOT REQUIRED	ENCLOSED		NOT REQUIRED
EAVES LININGS		NOT REQUIRED	UNENCLOSED		NOT REQUIRED
WINDOWS		<ul style="list-style-type: none"> <li>BEHIND BUSH-FIRE SHUTTERS - NR</li> <li>BEHIND SCREENS - NR</li> <li>LESS THAN 400mm OFF HORIZONTAL SURFACE FRAMES:</li> <li>A. BUSH-FIRE RESISTANT TIMBER</li> <li>B. TIMBER SPECIES FROM E2</li> <li>C. METAL</li> <li>D. METAL REINFORCED PVC-U</li> </ul> <p>GLAZING:</p> <ul style="list-style-type: none"> <li>A. 4mm GRADE 'A' SAFETY GLASS WITH OPENABLE SECTION SCREENED</li> <li>GREATER THAN 400mm OFF HORIZONTAL SURFACE</li> <li>A. OPENABLE SECTION SCREENED</li> </ul>	UNENCLOSED SUB-FLOOR		NOT REQUIRED
EXTERNAL SLIDING DOORS		<ul style="list-style-type: none"> <li>BEHIND BUSH-FIRE SHUTTERS - NR</li> <li>BEHIND SCREENS - NR</li> <li>GLAZED DOORS - 4mm GRADE 'A' SAFETY GLASS</li> <li>JOINERY LESS THAN 400mm FROM HORIZONTAL</li> <li>A. BUSH-FIRE RESISTANT TIMBER</li> <li>B. TIMBER SPECIES FROM E1</li> <li>C. METAL</li> <li>D. METAL REINFORCED PVC-U</li> </ul>	DECKING RAMP ETC.		<ul style="list-style-type: none"> <li>WALL ENCLOSING SUB-FLOOR DECK SPACE</li> <li>LESS THAN 400mm FROM HORIZONTAL SURFACE AS PER 'EXTERNAL WALLS'</li> <li>SUPPORTS - NR</li> <li>FRAMING - NR</li> <li>DECKING LESS THAN 300mm FROM GLAZED ELEMENT</li> <li>A. NON-COMBUSTIBLE MATERIALS</li> <li>B. BUSH-FIRE RESISTANT TIMBER</li> <li>C. TIMBER SPECIES FROM E1</li> </ul>
EXTERNAL WALLS	LIGHTWEIGHT CLADDING	<ul style="list-style-type: none"> <li>ANY CLADDING LESS THAN 400mm FROM HORIZONTAL SURFACE</li> <li>A. NON-COMUSTIBLE MATERIAL</li> <li>B. FIBRE CEMENT SHEET MIN 6mm THICK</li> <li>C. BUSH-FIRE RESISTANT TIMBER</li> <li>D. TIMBER SPECIES FROM E1</li> </ul>	UNENCLOSED		<ul style="list-style-type: none"> <li>SUPPORTS - NR</li> <li>FRAMING - NR</li> <li>DECKING LESS THAN 300mm FROM GLAZED ELEMENT</li> <li>A. NON-COMBUSTIBLE MATERIALS</li> <li>B. BUSH-FIRE RESISTANT TIMBER</li> <li>C. TIMBER SPECIES FROM E1</li> </ul>
	BRICK	NOT REQUIRED			
	FRAMING	NOT REQUIRED			
			DOORS: VEHICLE ACCESS DOORS		<p>THE FOLLOWING APPLY TO VEHICLE ACCESS DOORS:</p> <ul style="list-style-type: none"> <li>A. THE LOWER PORTION OF A VEHICLE ACCESS DOOR THAT IS WITHIN 400mm OF GROUND WHEN THE DOOR IS CLOSED SHALL BE MADE OF NON-COMBUSTIBLE MATERIAL.</li> <li>B. PANEL LIFT, TILT DOORS OR SLIDE-HUNG DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS AS APPROPRIATE TO THE DOOR TYPE, WITH A GAP NOT GREATER THAN 3mm</li> <li>C. ROLLER DOOR SHALL HAVE GUIDE TRACKS WITH A MAX. GAP NO GREATER THAN 3mm &amp; SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR.</li> </ul>

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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**BAL 12.5 NOTES**

SCALE: 1 : 50

PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
**BENALLA, VIC., 3672**

PAGES: 10 of 16  
SHEET SIZE: **A3**

PROJECT No: **HA573**

WINK + CO  
Job No: 058-24

AREA

LIVING:	321.09 m <sup>2</sup>
ALFRESCO:	57.77 m <sup>2</sup>
PORCH:	11.42 m <sup>2</sup>
GARAGE:	53.21 m <sup>2</sup>
TOTAL:	443.49 m <sup>2</sup>

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	22/06/23	SM	EK
F	AMENDMENTS	06/11/23	TO	EK
G	AMENDMENTS	15/11/23	ACG	EK
H	AMENDMENTS	12/01/24	KS	EK
I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK

**WINDOW SCHEDULE**

DOWELL WINDOWS

NO.	CODE	LOCATION	HEIGHT	WIDTH	HEAD HT (TBC)	WINDOW TYPE	COMMENTS
01	1209 AAW	ENS. 2	1200	850	2160	STANDARD AWNING WINDOW	
02	2109 AAW	LOUNGE	2057	850	2160	STANDARD AWNING WINDOW	WITH 90mm WINDOW TRIMS
03	2109 AAW	LOUNGE	2057	850	2160	STANDARD AWNING WINDOW	WITH 90mm WINDOW TRIMS
04	2109 AAW	LOUNGE	2057	850	2160	STANDARD AWNING WINDOW	WITH 90mm WINDOW TRIMS
05	2124 AAW	OFFICE	2057	2410	2160	STANDARD AWNING WINDOW	WITH 90mm WINDOW TRIMS
06	1209 AAW	PDR 1	1200	850	2160	STANDARD AWNING WINDOW	
07	*2124 AAW	GARAGE	2057	2410	2160	STANDARD AWNING WINDOW	
08	*2124 AAW	GARAGE	2057	2410	2160	STANDARD AWNING WINDOW	
09	1818 AAW	ENSUITE	1800	1810	2400	2 PANEL FULL HEIGHT AWNING WINDOW	SINGLE GLAZED w/ TILED WINDOW REVEAL TO BUILDERS DETAILS - 600 SILL HEIGHT
10	0927 AAW xxx	BED 1	900	2650	2400	STANDARD AWNING WINDOW xxx	DOUBLE GLAZED - 1500 SILL HEIGHT
11	2436 ASD oxxo	BED 1	2400	3610	2400	4 PANEL BI-PART SLIDING DOOR oxxo	DOUBLE GLAZED w/ REBATED IN SLAB TO BUILDERS DETAILS
12	1527 ASW xxx	KITCHEN	1457	2650	2357	STANDARD SLIDING WINDOW	THERMALLY BROKEN - 900 SILL HEIGHT (BENCHTOP TO RUN INTO WINDOW SILL)
13	2448 ASD oxxo	LIVING / DINING	2400	4810	2400	4 PANEL BI-PART SLIDING DOOR oxxo	DOUBLE GLAZED w/ REBATED IN SLAB TO BUILDERS DETAILS
14	1224 AFW	LIVING / DINING	1180	2400	3880	1 PANEL FIXED (TRIANGLE SHAPED) HIGHLIGHT WINDOW	ANGLE & HEIGHT TBC TO ACCOMODATE CEILING
15	1224 AFW	LIVING / DINING	1180	2400	3880	1 PANEL FIXED (TRIANGLE SHAPED) HIGHLIGHT WINDOW	ANGLE & HEIGHT TBC TO ACCOMODATE CEILING
16	2436 ASD oxxo	LIVING / DINING	2400	3610	2400	4 PANEL BI-PART SLIDING DOOR oxxo	DOUBLE GLAZED w/ REBATED IN SLAB TO BUILDERS DETAILS
17	2406 AAW	ACTIVITY	2340	610	2400	FULL HEIGHT AWNING WINDOW	DOUBLE GLAZED - HEAD HEIGHT TO MATCH SLIDING DOORS
18	2424 AAW	BED 2	2340	2410	2400	STANDARD AWNING WINDOW	DOUBLE GLAZED - HEAD HEIGHT TO MATCH SLIDING DOORS
19	1415 AAW	BATH	1400	1450	2400	STANDARD AWNING WINDOW	TILED WINDOW REVEAL TO BUILDERS DETAILS - 1000 SILL HEIGHT
20	2124 AAW	BED 3	2057	2410	2160	STANDARD AWNING WINDOW	DOUBLE GLAZED
21	*2124 AAW	BED 4	2057	2410	2160	STANDARD AWNING WINDOW	
22	*2124 AAW	GUEST BED	2057	2410	2160	STANDARD AWNING WINDOW	
23	2109 AAW	GUEST BED	2057	850	2160	STANDARD AWNING WINDOW	



**DOOR SCHEDULE**

NO.	LOCATION	HEIGHT	WIDTH	DESCRIPTION
01	ENTRY	2340	1810	1200 'JST1' ENTRY HINGED DOOR WITH 2x 2403 AFW SIDELIGHTS EITHER SIDE - PAINT FINISH
02	GARAGE	2300	5495	SELECTED AUTO PANEL LIFT DOOR w/ EMBASEALS
03	GARAGE	2340	920	920 HINGED DOOR
04	L'DRY	2340	856	856 ALUMINIUM FRAMED GLASS HINGED DOOR
05	L'DRY	2340	820	820 HINGED DOOR
06	MUD	2340	820	820 HINGED DOOR
07	MUD	2340	820	820 HINGED DOOR
08	BED 1	2340	820	820 HINGED DOOR
09	WIR	2340	820	820 CAVITY SLIDING DOOR
10	ENSUITE	2340	1440	2x 720 CAVITY SLIDING DOORS
11	ENS. WC	2340	720	720 HINGED DOOR - LIFT OFF HINGES
12	PDR 1	2340	720	720 HINGED DOOR
13	B'PTY	2340	820	820 SWINGING HINGED DOOR
14	OFFICE	2340	1200	1200 FACE SLIDING BARN DOOR TO SUIT 1150W OPENING - DETAILS & FIXINGS TO BUILDERS SPEC.
15	LOUNGE	2340	1200	1200 FACE SLIDING BARN DOOR TO SUIT 1150W OPENING - DETAILS & FIXINGS TO BUILDERS SPEC.
16	LIVING / DINING	2340	820	820 CAVITY SLIDING DOOR
17	GUEST BED	2340	820	820 HINGED DOOR
18	ENS. 2	2340	720	720 HINGED DOOR
19	ACTIVITY	2340	820	820 HINGED DOOR
20	BED 4	2340	820	820 HINGED DOOR
21	BED 2	2340	820	820 HINGED DOOR
22	BED 3	2340	820	820 HINGED DOOR
23	PDR 2	2340	720	720 CAVITY SLIDING DOOR
24	BATH	2340	720	720 CAVITY SLIDING DOOR
25	PDR 2	2310	864	864 ALUMINIUM FRAMED GLASS HINGED DOOR w/ TRANSLUCENT GLAZING

**NOTES:**

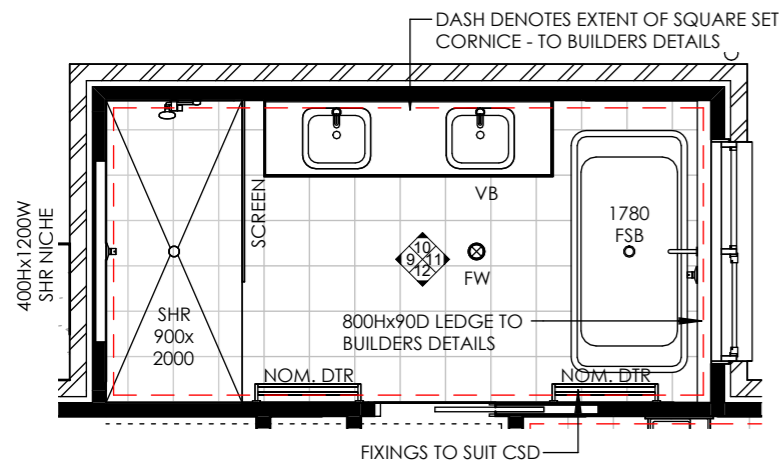
- WINDOW SCHEDULE FOR INFORMATION ONLY
- REFER TO PLANS FOR WINDOW LOCATIONS & CODES. FLOOR PLAN TAKES PRECEDENCE OVER SCHEDULE WINDOWS. REFER TO MANUFACTURERS CATALOGUES & DETAILS FOR EXACT SIZES
- WINDOWS & DOORS TO BE DESIGNED TO SUIT DESIGNATED WIND TERRAIN CATEGORY
- PROVIDE ALL SUB SILL, TRANSOM, MULLIONS, ETC. TO ACHIEVE FENESTRATION PATTERN AS SHOWN ON THE ELEVATIONS
- PROVIDE LIFT OFF HINGES TO WC DOORS TO COMPLY WITH NCC REGULATIONS
- ALL HEAD HEIGHTS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION / FRAME FABRICATION

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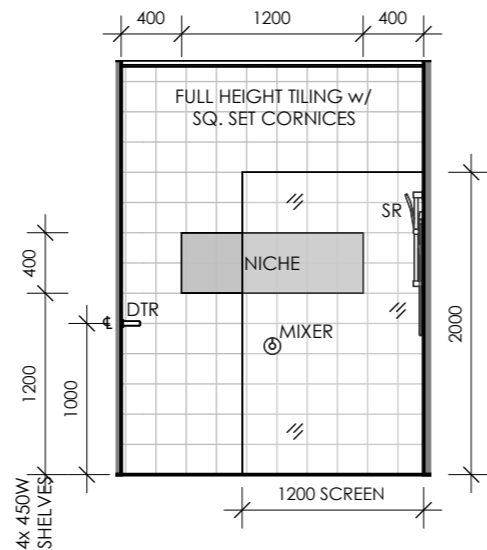
PLANS BY <b>WINK + CO</b> 07 3060 5089 projects@winkandco.com.au WINKANDCO.COM.AU QBCC 1194316   TAS - CC7004			CLIENT: <b>CHRISTOPHER &amp; CAITLIN BELL</b>	PROJECT: PROPOSED NEW RESIDENCE <b>Lot 33 PS904054M</b>	PAGES: 11 of 16 SHEET SIZE: <b>A3</b>	<b>AREA</b> LIVING: <b>321.09 m<sup>2</sup></b> PORCH: <b>57.77 m<sup>2</sup></b> ALFRESCO: <b>11.42 m<sup>2</sup></b> GARAGE: <b>53.21 m<sup>2</sup></b> <b>TOTAL: 443.49 m<sup>2</sup></b>	REV   COMMENTS   DATE   DRWN   CKD A   WORKING DRAWINGS   22/06/23   SM   EK F   AMENDMENTS   06/11/23   TO   EK G   AMENDMENTS   15/11/23   ACG   EK H   AMENDMENTS   12/01/24   KS   EK I   AMENDMENTS   31/05/24   KS   EK J   AMENDMENTS   07/06/24   TD   SW K   AMENDMENTS   12/06/24   TD   EK
			DRAWING TITLE: <b>SCHEDULES</b>	PROJECT: THOROUGHFBRED LANE <b>BENALLA, VIC., 3672</b>	WINK + CO Job No: 058-24		



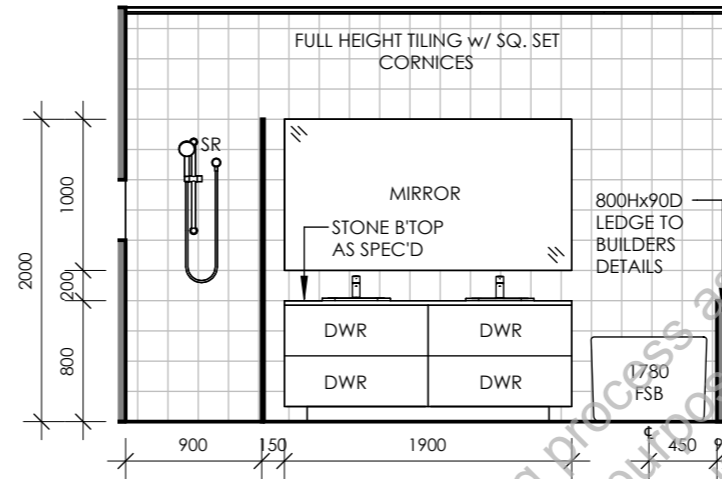




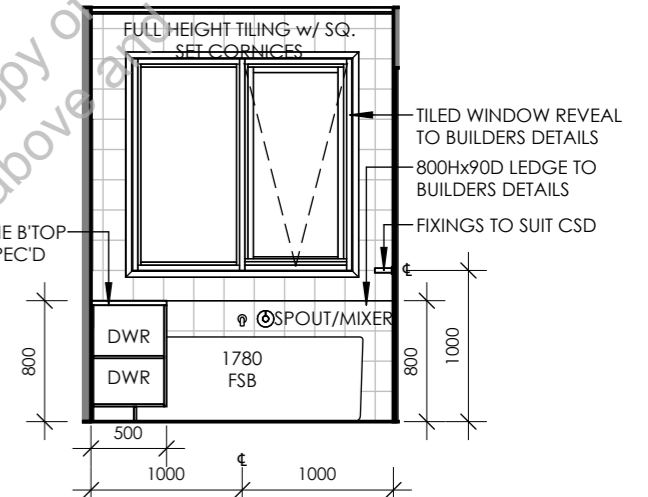
BATH PLAN



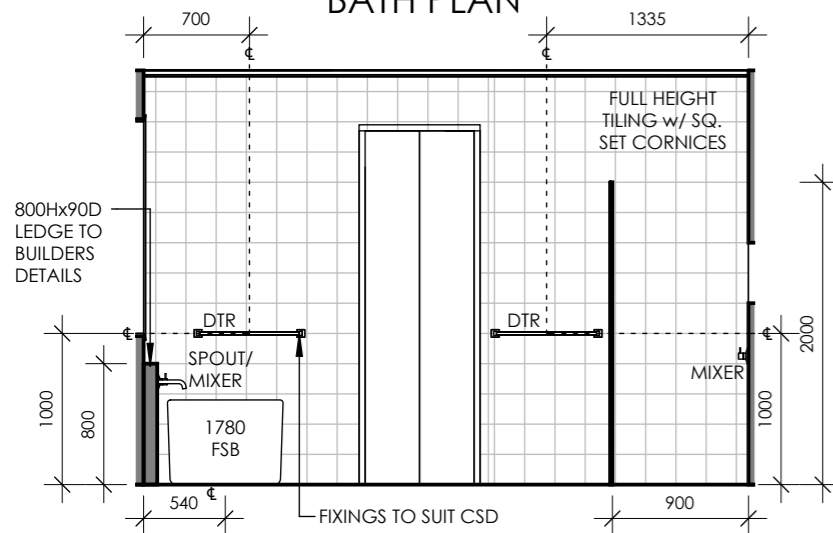
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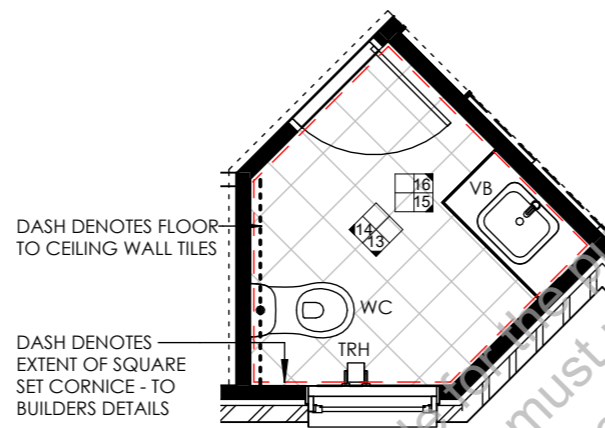
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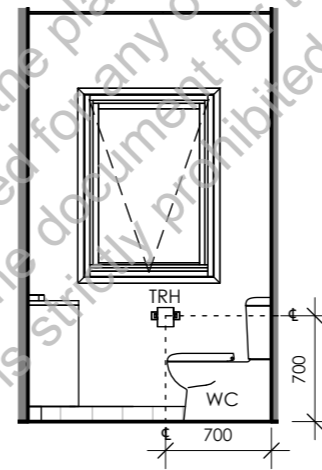
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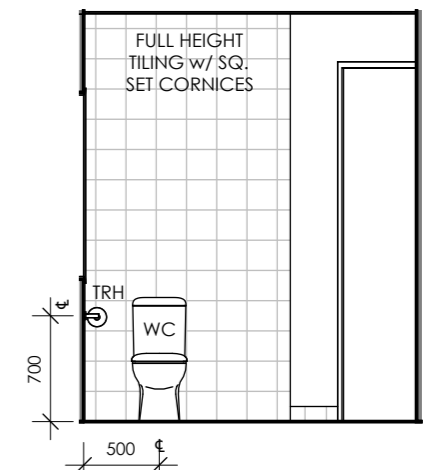
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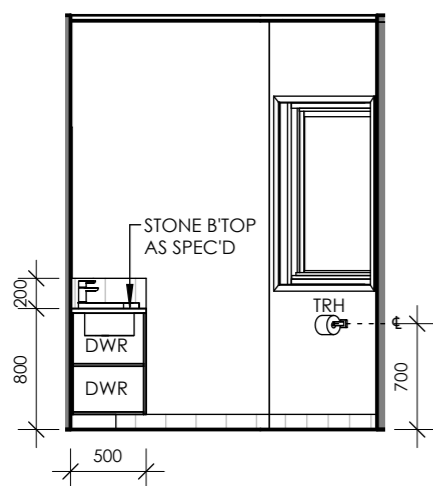
PDR 1 PLAN



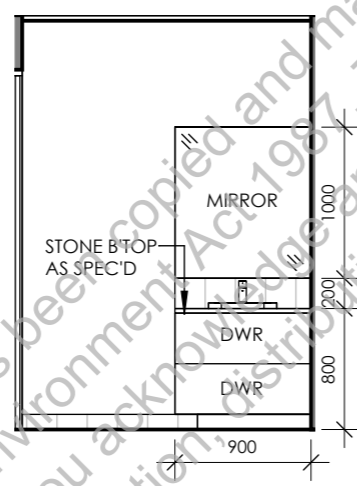
PDR 1 - ELEV. 13



PDR 1 - ELEV. 14



PDR 1 - ELEV. 15



PDR 1 - ELEV. 16

- GENERAL NOTES:
- FINAL CABINERY TBC BY BUILDER
  - TILING HEIGHTS MAY VARY DUE TO TILES SELECTED
  - ALL DIMENSIONS ARE TO UNFINISHED STUD WALL NOT TO INTERNAL LINING SURFACE
- OTS DENOTES OWNER TO SUPPLY & BUILDER TO INSTALL

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**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**INTERNALS**

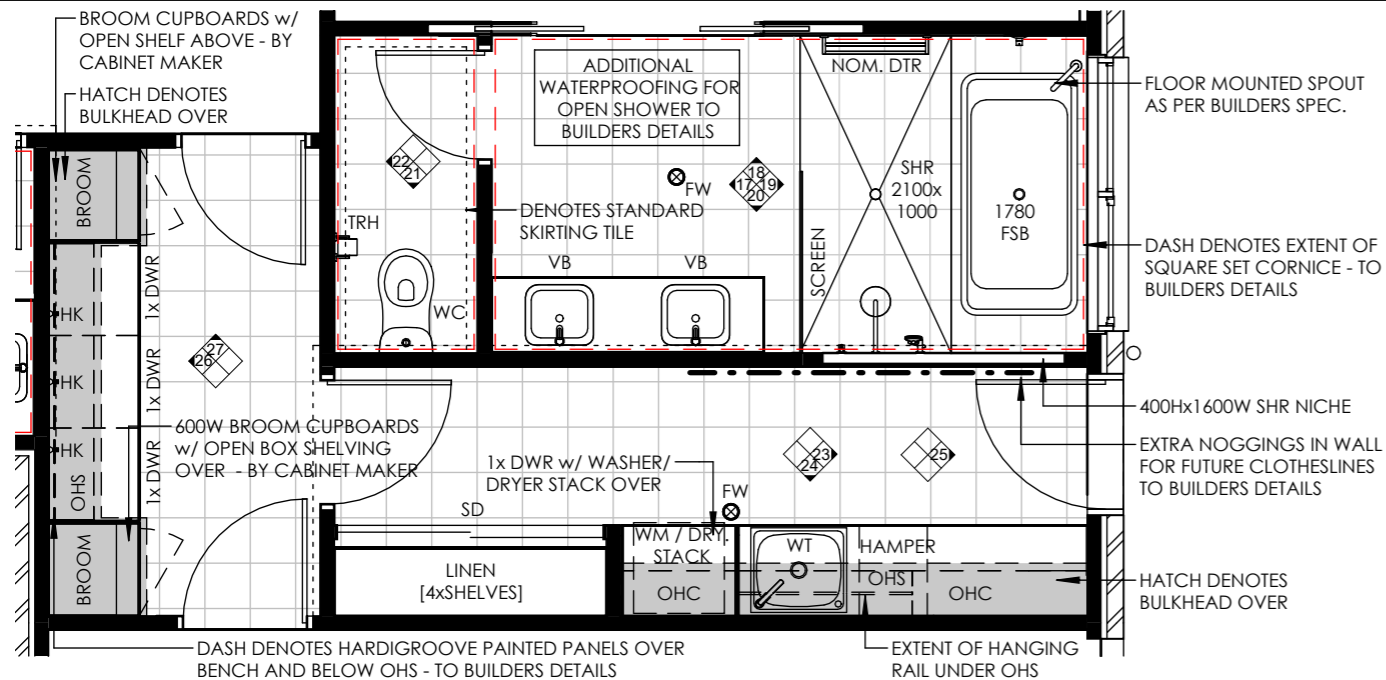
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PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
**BENALLA, VIC., 3672**

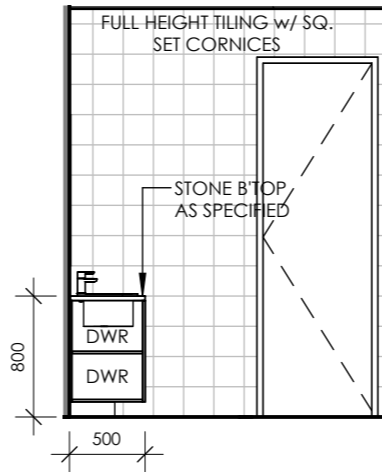
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SHEET SIZE: **A3**  
PROJECT No: **HA573**  
WINK + CO  
Job No: 058-24

AREA	
LIVING:	321.09 m <sup>2</sup>
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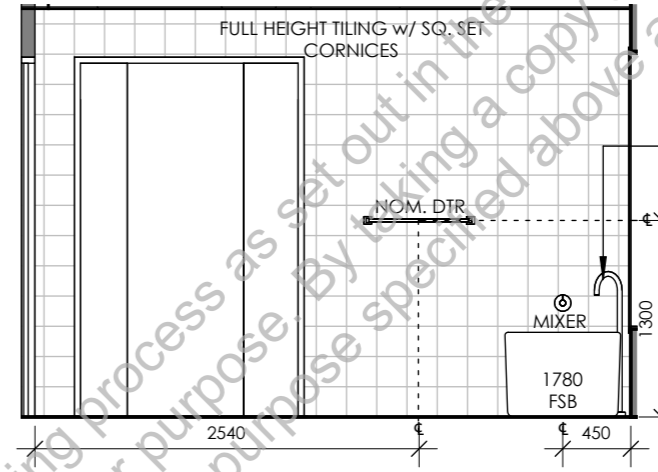
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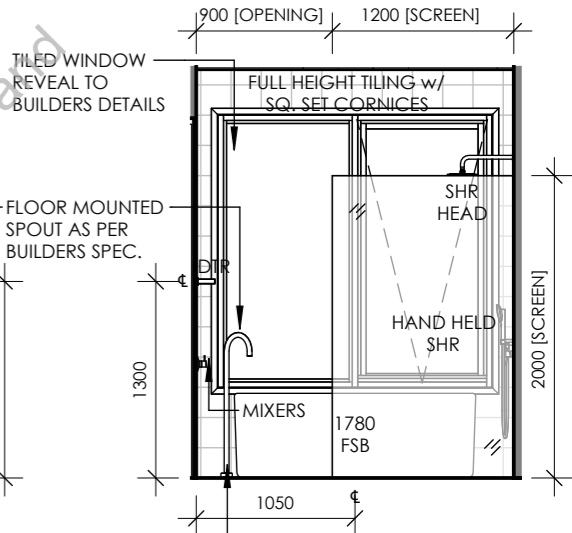
ENSUITE - LAUNDRY - MUD ROOM PLAN



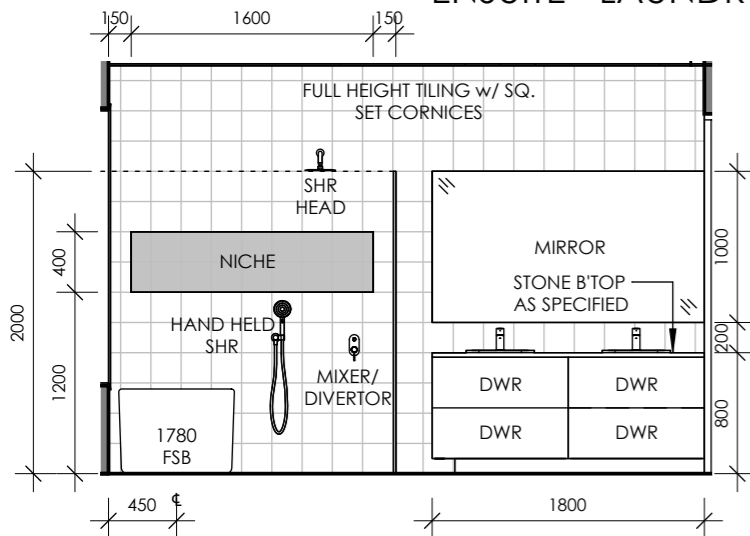
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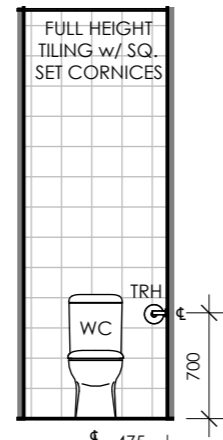
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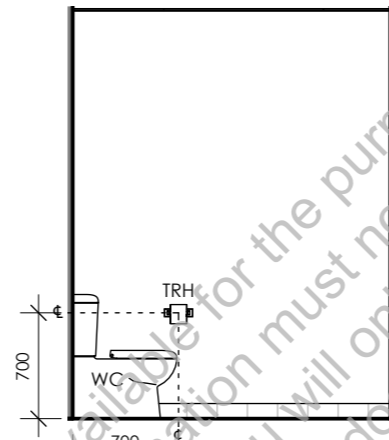
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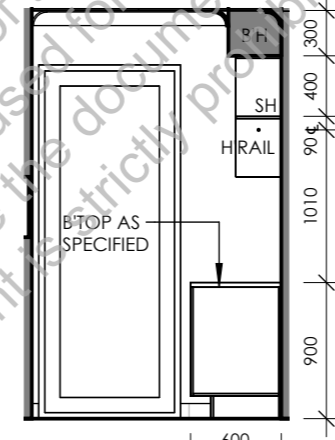
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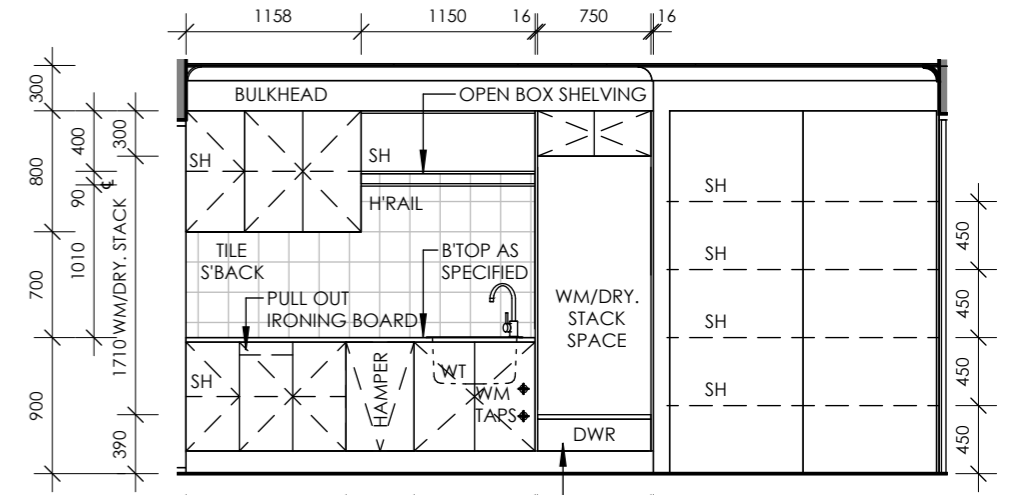
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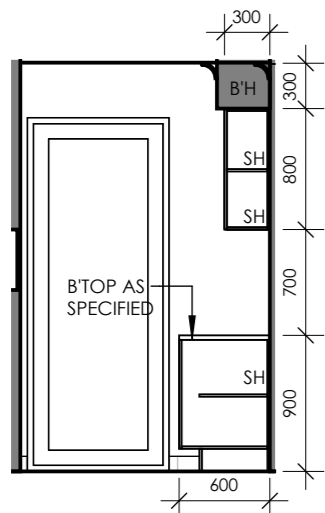
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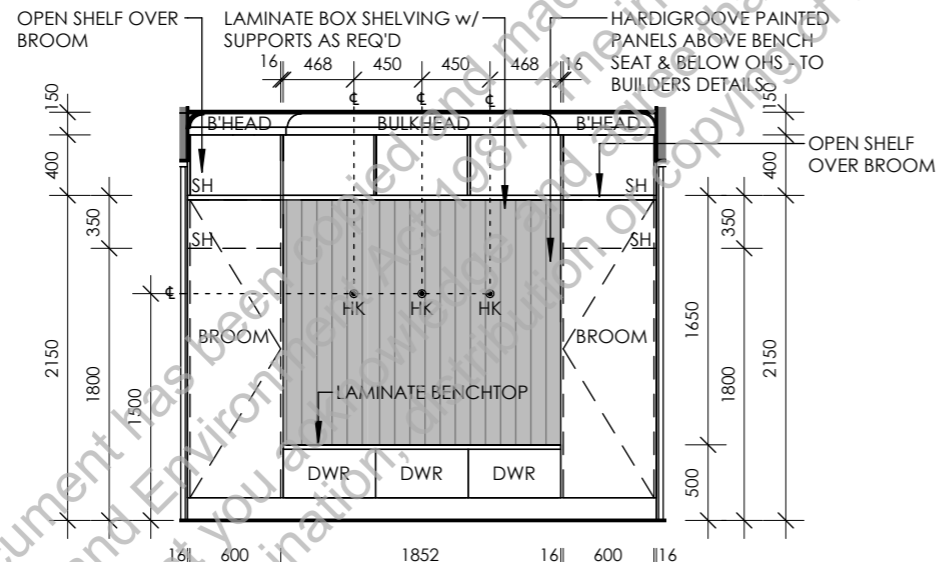
LAUNDRY - ELEV. 23



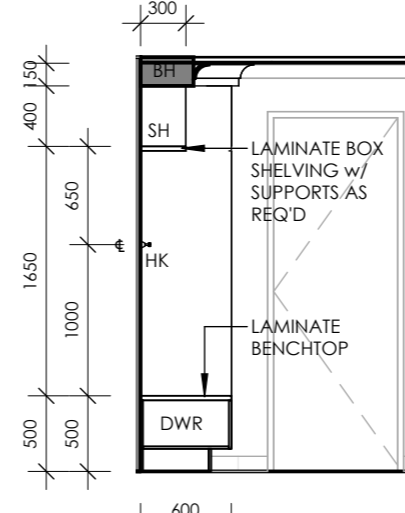
LAUNDRY - ELEV. 24



LAUNDRY - ELEV. 25



MUD ELEV 26



MUD ELEV 27

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SCALE: 1 : 50

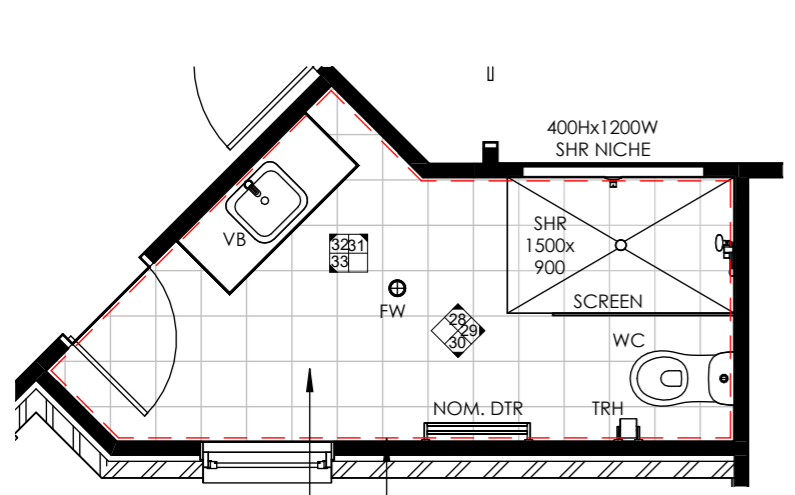
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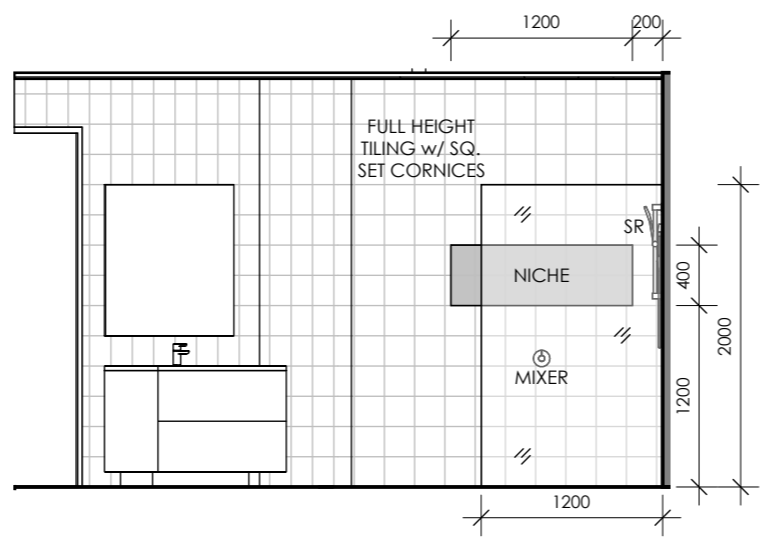
**AREA**

LIVING:	321.09 m <sup>2</sup>
ALFRESCO:	57.77 m <sup>2</sup>
PORCH:	11.42 m <sup>2</sup>
GARAGE:	53.21 m <sup>2</sup>
<b>TOTAL:</b>	<b>443.49 m<sup>2</sup></b>

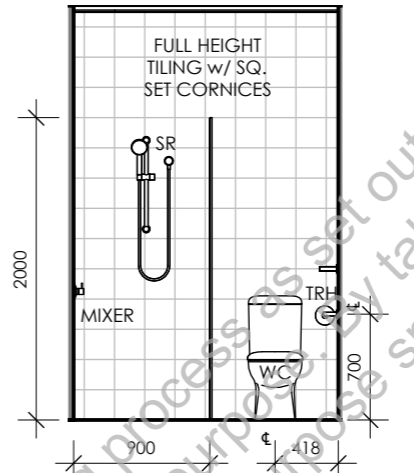
REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	22/06/23	SM	EK
F	AMENDMENTS	06/11/23	TO	EK
G	AMENDMENTS	15/11/23	ACG	EK
H	AMENDMENTS	12/01/24	KS	EK
I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK



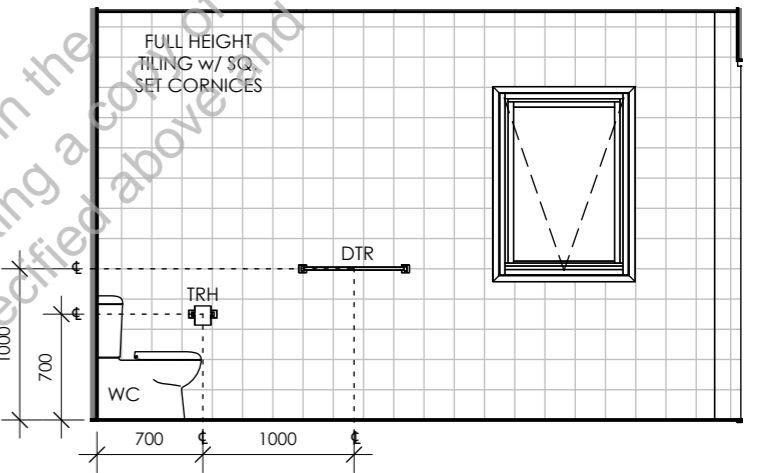
ENS 2 PLAN



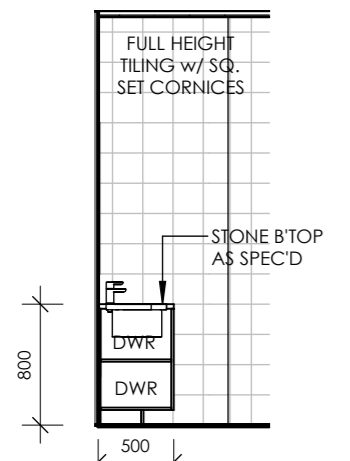
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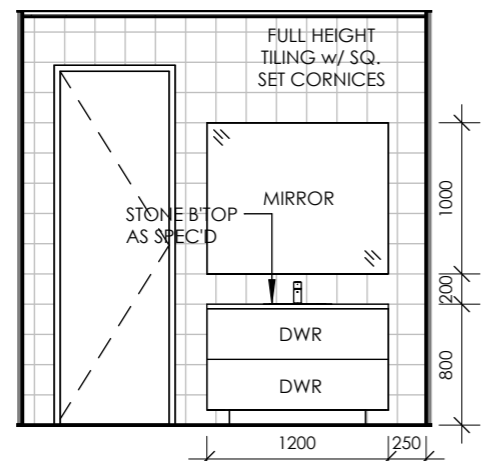
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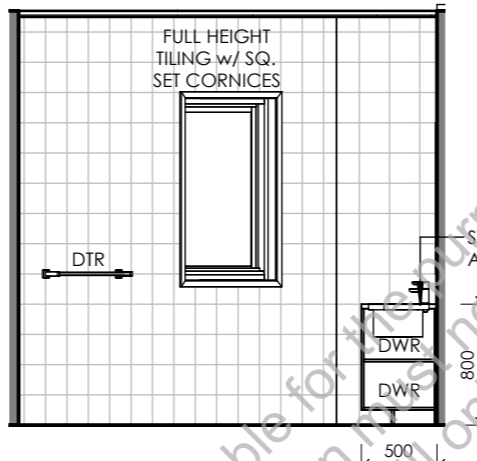
ENS 2 - ELEV. 30



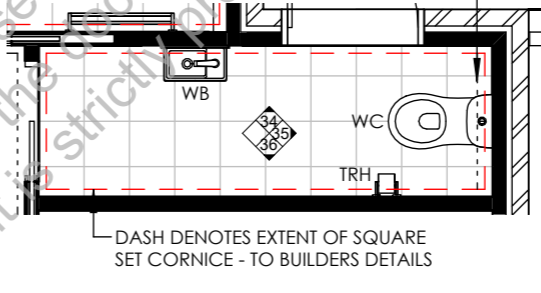
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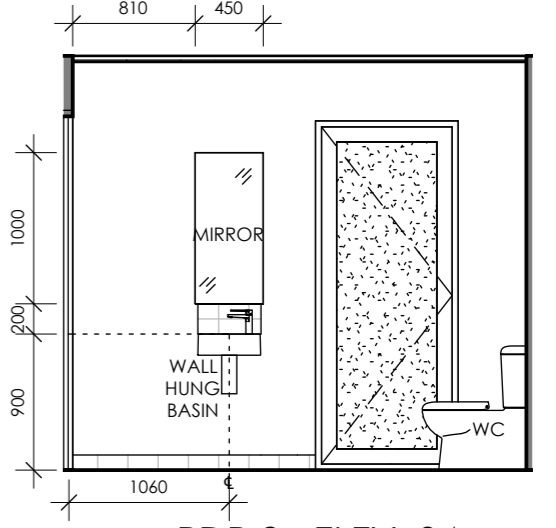
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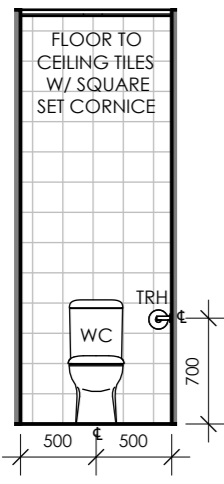
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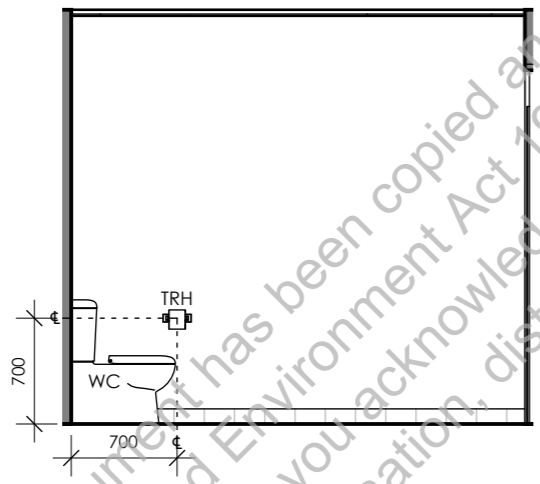
PDR 2 PLAN



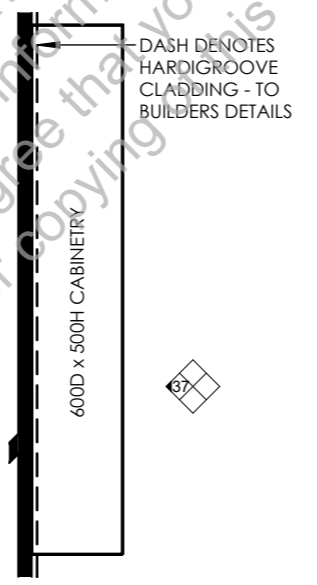
PDR 2 - ELEV. 34



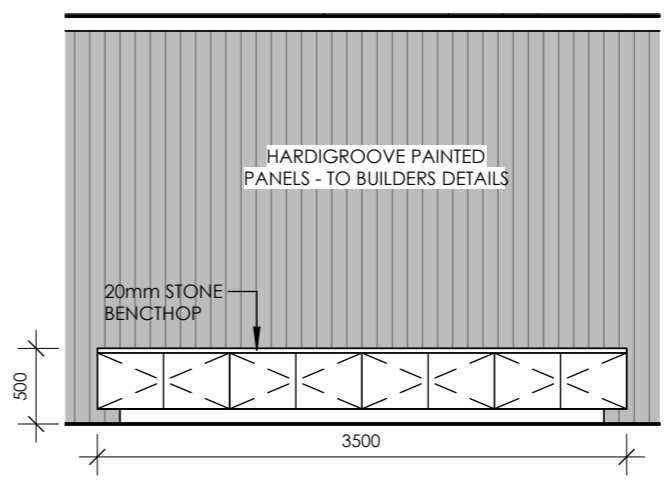
PDR 2 - ELEV. 35



PDR 2 - ELEV. 36



LIVING PLAN



LIVING - ELEV. 37

**GENERAL NOTES:**

- FINAL CABINERY TBC BY BUILDER
- TILING HEIGHTS MAY VARY DUE TO TILES SELECTED
- ALL DIMENSIONS ARE TO UNFINISHED STUD WALL NOT TO INTERNAL LINING SURFACE

**OTS** DENOTES OWNER TO SUPPLY & BUILDER TO INSTALL

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WODONGA, VIC, 3690  
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CLIENT:  
**CHRISTOPHER & CAITLIN BELL**

DRAWING TITLE:  
**INTERNALS**

PROJECT: PROPOSED NEW RESIDENCE  
**Lot 33 PS904054M**  
**THOROUGHbred LANE**  
**BENALLA, VIC., 3672**

SCALE: 1 : 50

PAGES: 15 of 16  
SHEET SIZE: **A3**

PROJECT No:  
**HA573**

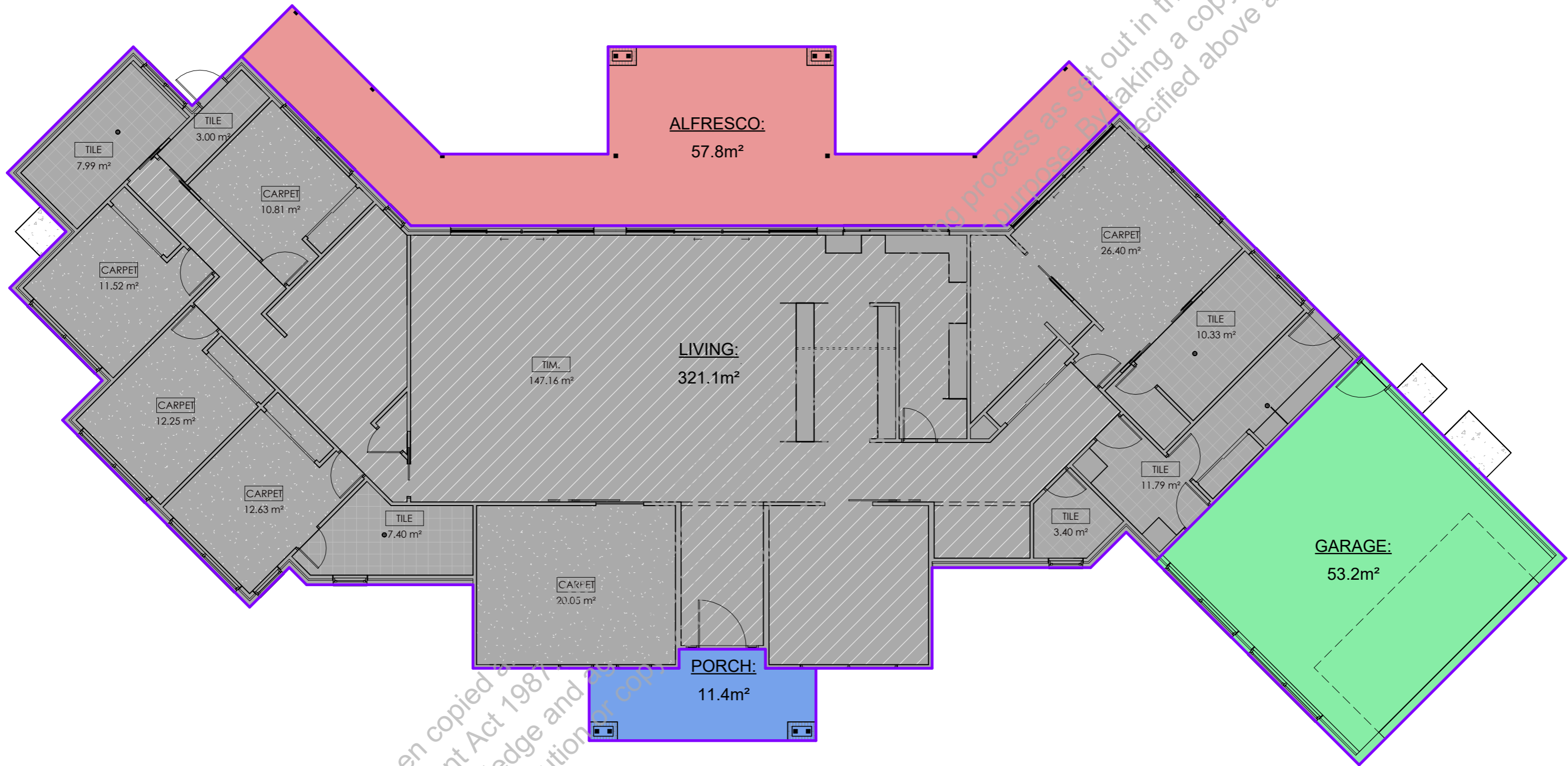
WINK + CO  
Job No: 058-24

**AREA**

LIVING:	321.09 m <sup>2</sup>
ALFRESCO:	57.77 m <sup>2</sup>
PORCH:	11.42 m <sup>2</sup>
GARAGE:	53.21 m <sup>2</sup>
<b>TOTAL:</b>	<b>443.49 m<sup>2</sup></b>



REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	22/06/23	SM	EK
F	AMENDMENTS	06/11/23	TO	EK
G	AMENDMENTS	15/11/23	ACG	EK
H	AMENDMENTS	12/01/24	KS	EK
I	AMENDMENTS	31/05/24	KS	EK
J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK



**FLOOR FINISH SCHEDULE**

CODE	AREA	HATCH
CARPET	186.10 m <sup>2</sup>	
TILE	85.80 m <sup>2</sup>	
TIM.	293.93 m <sup>2</sup>	

NOTE:  
**AREAS ARE APPROXIMATE ONLY.**  
 VARIABLES SUCH AS KICKER DEPTH, CABINERY LAYOUT ETC. WILL CHANGE TOTALS.

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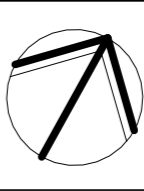
**Hadar**  
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 WODONGA, VIC, 3690  
 P: 02 8055 7900, M: 0400 010 892  
 www.hadar.com.au

CLIENT:  
**CHRISTOPHER & CAITLIN BELL**  
 DRAWING TITLE:  
**AREA PLAN**

SCALE: 1 : 100

PROJECT: PROPOSED NEW RESIDENCE  
 Lot 33 PS904054M  
 THOROUGHbred LANE  
 BENALLA, VIC., 3672

PAGES: 16 of 16	SHEET SIZE: <b>A3</b>	<b>AREA</b>
<b>PROJECT No:</b> HA573	<b>LIVING:</b> 321.09 m <sup>2</sup>	<b>ALFRESCO:</b> 57.77 m <sup>2</sup>
<b>WINK + CO</b>	<b>PORCH:</b> 11.42 m <sup>2</sup>	<b>GARAGE:</b> 53.21 m <sup>2</sup>
<b>Job No:</b> 058-24	<b>TOTAL:</b> 443.49 m <sup>2</sup>	



REV	COMMENTS	DATE	DRWN	CKD
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J	AMENDMENTS	07/06/24	TD	SW
K	AMENDMENTS	12/06/24	TD	EK



# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 20/06/2024 11:26:11 AM

Status	Registered	Dealing Number	AX185303Y
Date and Time Lodged	24/08/2023 01:46:02 PM		

### Lodger Details

Lodger Code	16667Y
Name	GADENS LAWYERS
Address	
Lodger Box	
Phone	
Email	
Reference	

## TRANSFER

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

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### Land Title Reference

12494/978

### Transferor(s)

Given Name(s)	ROSEMARY ELIZABETH
Family Name	INGLIS

### Estate and/or Interest being transferred

Fee Simple

### Consideration

\$AUD 250000.00

### Transferee(s)

<b>Tenancy (inc. share)</b>	Sole Proprietor
Given Name(s)	CAITLIN CECILE
Family Name	BELL
Address	
Street Number	111
Street Name	BURSTON
Street Type	ROAD



# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Locality	BENALLA
State	VIC
Postcode	3672

### Covenants

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restrictive covenant with the intent that the burden of the restrictive covenant runs with and binds the burdened land and the benefit of the restrictive covenant is annexed to and runs with the benefited land.

Burdened land	the Land
Benefited land	MCP: AA7886
Restrictive covenant	MCP: AA7886
Expiry Date	

### Duty Transaction ID

5780960

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CAITLIN CECILE BELL
Signer Name	RHYLEE LOUISE HANRAHAN
Signer Organisation	MULCAHY & CO LEGAL PTY LTD
Signer Role	LAW PRACTICE
Execution Date	24 AUGUST 2023

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	ROSEMARY ELIZABETH INGLIS
Signer Name	DAVID ROBIN JOSEPH
Signer Organisation	DAVID JOSEPH & CO LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	23 AUGUST 2023



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

**File Notes:**

NIL

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Statement End.

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# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Mortgage Form version 1.5

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Produced 20/06/2024 11:26:10 AM

Status	Registered	Dealing Number	AX185304W
Date and Time Lodged	24/08/2023 01:46:02 PM		

### Lodger Details

Lodger Code	16667Y
Name	GADENS LAWYERS
Address	
Lodger Box	
Phone	
Email	
Reference	30022415 Bankwest BE

## MORTGAGE

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest being mortgaged

FEE SIMPLE

### Land Title Reference

12494/978

### Mortgagor

Given Name(s)	CAITLIN CECILE
Family Name	BELL

### Mortgagee

Name	COMMONWEALTH BANK OF AUSTRALIA
ACN	123123124
Australian Credit Licence	234945
Address	
Property Name	COMMONWEALTH BANK PLACE SOUTH
Floor Type	LEVEL
Floor Number	1
Street Number	11
Street Name	HARBOUR



# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Mortgage Form version 1.5

Street Type	STREET
Locality	SYDNEY
State	NSW
Postcode	2000

The mortgagor mortgages the estate and/or interest in land specified in this mortgage to the mortgagee as security for the debt or liability described in the terms and conditions set out or referred to in this mortgage, and covenants with the mortgagee to comply with those terms and conditions.

### Terms and Conditions of this Mortgage

(a) Document Reference	AA1949
(b) Additional terms and conditions	Nil

### Mortgagee Execution

1. The Certifier has retained the evidence supporting this Registry Instrument or Document.
2. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.
3. The Certifier, or the Certifier is reasonably satisfied that the mortgagee it represents,:
  - (a) has taken reasonable steps to verify the identity of the mortgagor or his, her or its administrator or attorney; and
  - (b) holds a mortgage granted by the mortgagor on the same terms as this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to verify the identity of the mortgagee or his, her or its administrator or attorney.
5. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.

Executed on behalf of	COMMONWEALTH BANK OF AUSTRALIA
Signer Name	BRENDAN LEWIS WRAY
Signer Organisation	GADENS LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	24 AUGUST 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

# Imaged Document Cover Sheet

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Document Type	<b>Instrument</b>
Document Identification	<b>AT774802F</b>
Number of Pages (excluding this cover sheet)	<b>10</b>
Document Assembled	<b>20/06/2024 11:26</b>

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AT774802F

**Application by a responsible authority for the making of a recording of an agreement**  
**Section 181 Planning and Environment Act 1987**

**Privacy Collection Statement**

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Lodged by

Name: DAVID JOSEPH & CO., LAWYERS  
Phone: 5762 7688  
Address: 54 NUNN STREET BENALLA 3672  
Reference: 211010  
Customer code: 13250B

The responsible authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register.

Land:(volume and folio)

CERTIFICATE OF TITLE VOLUME 09820 FOLIO 241

Responsible authority:(full name and address, including postcode)

1. BENALLA RURAL CITY COUNCIL OF 1 BRIDGE STREET BENALLA 3672 IN THE STATE OF VICTORIA

Section and act under which agreement is made:

SECTION 173

A copy of the agreement is attached to this application:

YES

Signing:



35271702A

181PEA

Page 1 of 2

**THE BACK OF THIS FORM MUST NOT BE USED**

Land Use Victoria contact details: see [www.delwp.vic.gov.au/property](http://www.delwp.vic.gov.au/property)>Contact us

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AT774802F

**Application by a responsible authority for the making of a recording of an agreement**  
**Section 181 Planning and Environment Act 1987**

**Privacy Collection Statement**

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Executed on behalf of BENALLA RURAL CITY COUNCIL

Signer Name NILESH NEAL SINGH

Signature 

Execution Date 20/10/2020

Full Name of Witness JOEL INGHAM

Witness Signature 

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35271702A

181PEA

Page 2 of 2

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**BENALLA RURAL CITY COUNCIL**

**AND**

**ROSEMARY ELIZABETH INGLIS**

## **SECTION 173 AGREEMENT**

**Site: 30 Inglis Road, Benalla**

**DAVID JOSEPH & CO.,  
LAWYERS**

54 Nunn Street Benalla

PO Box 18 Benalla

Vic., 3672.

Ph: 03) 5762 7688

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### SECTION 173 AGREEMENT



**Parties:**

1. **BENALLA RURAL CITY COUNCIL** of Civic Centre, Fawckner Drive, Benalla Vic 3672 (“the Authority”);
2. **ROSEMARY ELIZABETH INGLIS**, 30 Inglis Road, Benalla Vic 3672 (“the Owner”)


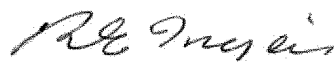
Executed as a Deed on the \_\_\_\_\_ day of \_\_\_\_\_

2020

**SIGNED SEALED AND DELIVERED** by  
 the duly authorised and delegated officer of  
 the **BENALLA RURAL CITY COUNCIL**  
 in the presence of:

 _____ Witness signature	 _____ Delegated Officer
_____ JOEL INGHAM Print name	_____ NIMESH SINHA Full name

**SIGNED Sealed And Delivered** by  
**ROSEMARY ELIZABETH INGLIS** in  
 the presence of:

 _____ Witness Signature	 _____ Rosemary Elizabeth Inglis
_____ DAVID JOSEPH Print name	

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## RECITALS:

1. The Owner is the registered proprietor of the land known as 30 Inglis Road, Benalla Vic 3672 described in Certificate of Title Volume 9820 Folio 241 (“the Land”);
2. The land is affected by the provisions of the Benalla Planning Scheme (“the Scheme”);
3. The Authority is the responsible authority under the Planning & Environment Act 1987 (“the Act”) for the purposes of the Scheme;
4. Pursuant to the Planning Permit No. P0080/19 (“the Permit”) the Authority has allowed the owner to subdivide the Land into Thirty Four (34) lots;
5. Condition 9 of the Permit requires the owner to enter into an Agreement pursuant to Section 173 of the Planning and Environment Act 1987 prior to the issue of a Statement of Compliance for each stage of the subdivision.
6. The parties enter into this Agreement to give effect to Condition 9 of the Permit.

## OPERATIVE PROVISIONS:

### 1. OPERATION

- 1.1. This agreement is entered into pursuant to Section 173 of the Act.
- 1.2. This agreement shall come into force on the execution by all parties.
- 1.3. The covenants of this agreement shall run with the land.

### 2. INTERPRETATION

- 2.1. In this agreement “the Owner” unless the contrary intention appears shall be deemed to include the Owner’s their successors assigns and transferees and the obligations imposed on and assumed by the Owners shall be binding on the successors transferees purchasers mortgage assigns of the Owners and any person obtaining possession of the whole or part of the land as if each of those successors separately executed this agreement; and  
  
If the Owner holds the land in a trust capacity, “Owner” shall include the beneficiaries of the trust in relation to which it holds such land. Where such trust relationship exists the Owner in executing this agreement does so intending to assume not only personal liability, but also to bind the trust for which it acts as trustee.



If the Owner is constituted by more than one person any obligation imposed by this agreement on the Owner shall be imposed on those persons jointly and severally.

2.2. In this agreement the word "Council" shall include the shires successors and its successors as responsible authority for town planning control in the area in which the land is situate.

2.3. In this agreement, unless the context otherwise requires:

2.3.1. Words denoting the singular numbers shall include the plural and visa versa.

2.3.2. Words denoting any gender shall include all genders.

2.3.3. Where a word or phrase is defined, other parts of speech and grammatical forms of that word or phrase shall have corresponding meanings.

2.3.4. Words denoting natural persona shall include corporations and visa versa.

2.3.5. References to clauses and schedules are to clauses of and schedules to this agreement.

2.3.6. Headings are for convenience only and do not effect interpretation.

2.3.7. References to any party to this agreement or any other agreement or instrument shall include the party's successors and permitted assigns.

2.3.8. Reference to any agreement or instrument shall be also to such agreement or instrument as amended, novated, supplemented varied or replaced from time to time.

2.3.9. References to legislation or to any provision of any legislation shall include any modification or re-enactment of that legislation and any legislative provision substituted for, and all regulations and statutory instruments issued under such legislation or provision.

2.3.10. As the case may be, a reference to a right or obligation of any two or more persons confers that right, or imposes, jointly and severally.

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3. **OWNERS CONSTRAINTS**

The owner covenants that except with the prior written consent of the Responsible Authority:-

- a. All stormwater falling on the roof of each habitable building on the Lot must be collected and conveyed to a rainwater tank, or series of tanks, with a storage capacity of at least 25,000 litres.
- b. The required tank(s) must be installed prior to the commencement of the use of the respective buildings or as directed by the Responsible Authority, whichever occurs first.
- c. Each rainwater tank installed pursuant to this Agreement must incorporate a drawdown outlet, not more than 50mm in diameter, installed in a manner that ensures that a reserve capacity of at least 15,000 litres will be restored following drawdown.
- d. The discharge from all drawdown outlets and tank overflow outlets must be collected and conveyed by pipes to a nominated legal point of discharge.
- e. All works prescribed by this Agreement are to be completed to the satisfaction of the Responsible Authority.
- f. Works prescribed by this Agreement may not be altered in any shape or form without the prior written consent from the Responsible Authority.
- g. Each rainwater tank system will be maintained to the satisfaction of the Responsible Authority.
- h. A duly appointed officer of the Responsible Authority will be allowed to inspect the rainwater tank system at mutually agreed times to ensure compliance with this Agreement.
- i. The owner must pay full costs of the preparation, execution and registration of this Section 173 Agreement.

4. **REGISTRATION**

The parties shall do all things necessary to enable the Authority to register this agreement pursuant to section 181 of the Act.

5. **DISCLOSURE**

The Owner shall not sell mortgage or part with possession of the land or any part of it without first disclosing to its successors the existence and the nature of this agreement.

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6. **COST OF AGREEMENT**

The Owner forthwith on demand shall pay to the Authority the Authority's costs and expenses (as between the solicitor and own client) of and incidental to this agreement and of anything consequent on it or in furtherance of it.

7. **DEFAULT**

If the Owner fails to comply with this agreement the Authority may serve on the Owner or on the owner of that part of the land in respect of which there has been failure of compliance a notice in writing specifying the words, matters and things ("the Remedial Works") in respect of which the relevant Owner is in default. If such default continues for thirty days after the service of such notice the Authority by its employees or contractors may enter upon the land and cause the Remedial Works to be done.

A notice served on the Owner pursuant to this clause may set out the costs (as estimated by the Authority) of carrying out the Remedial Works. If the Owner does not comply with the notice within thirty days the Authority may serve on the Owner a demand in writing for the amount of the estimated costs. The amount then shall become a debt due and payable by the relevant owner to the Authority.

As soon as practicable after the completion of the Remedial Works the Authority shall certify the actual costs of the Remedial Works. The difference between a sum paid to the Authority as the estimated costs, and the actual costs, shall be paid by the relevant owner to the Authority or if there is excess, repaid by the Authority to the relevant owner.

8. **AUTHORITY AS ATTORNEY FOR OWNER**

The Owner hereby appoints the Authority as its attorney to do all things the Owner is capable of doing for the purposes of giving effect to this Agreement or necessary to give effect to any of the duties or obligations imposed on the owner pursuant to this agreement and hereby authorises the Authority to do and will ratify whatever the Authority lawfully shall do or cause to be done under this power of attorney.

9. **NOTICES**

Any notice required under this agreement may be served by delivering it to the Owner at its last known address within the rating records of the Authority. Any notice posted shall be deemed to have been served at the expiration of twenty-four hours from the time of posting.

10. **SUCCESSORS BOUND**

Without limiting the operation or effect which this agreement has apart from this sub-clause, the Owner shall ensure that its successors –

10.1 Give effect to and do all acts and sign all documents which are required of them to give effect to this agreement, and

10.2 Execute under seal a deed agreeing to be bound by the terms of this agreement.

The obligation imposed on the Owner by sub-clause 1 of this clause shall cease for such time as there appears in the register book at the office of the Registrar of Titles a memorandum of this agreement.

11. **RELEASE**

On a person ceasing to own any part of the land that person shall be released from the obligations of that person as an owner under the agreement, save to the extent that any right has arisen against such owner prior to such cessation.

12. **FURTHER DOCUMENTATION AND ACTION**

Each of the parties shall sign and execute all such further documents and deeds and do all acts and things as the other party reasonably shall require for giving effect to this agreement.

13. **DISPUTE**

Should any dispute or difference arise between the parties with respect to the interpretation of this agreement its application such dispute or difference shall be determined by a person appointed by the parties by agreement, or failing agreement, by a person qualified in the area of the dispute or difference and appointed by the Secretary as defined in the Act.

14. **ENDING OF AGREEMENT**

In the future if this Agreement shall in the opinion of the Authority ever become null and void the Authority will make application to the Registrar of Titles under section 183(2) of the Act to cancel the recording of this Agreement on the register PROVIDED THAT Authority shall not be obliged to make such an application until it has been requested to do so by the Owner and the Owner has paid the Authority's costs in relation to the making of that application, including any legal fees incurred by the

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Authority and any fees payable to the Land Titles Office and any costs payable pursuant to Clause 6 of this Agreement which remain unpaid at that time.

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Document Type	<b>Plan</b>
Document Identification	<b>PS904054M</b>
Number of Pages (excluding this cover sheet)	<b>5</b>
Document Assembled	<b>20/06/2024 11:26</b>

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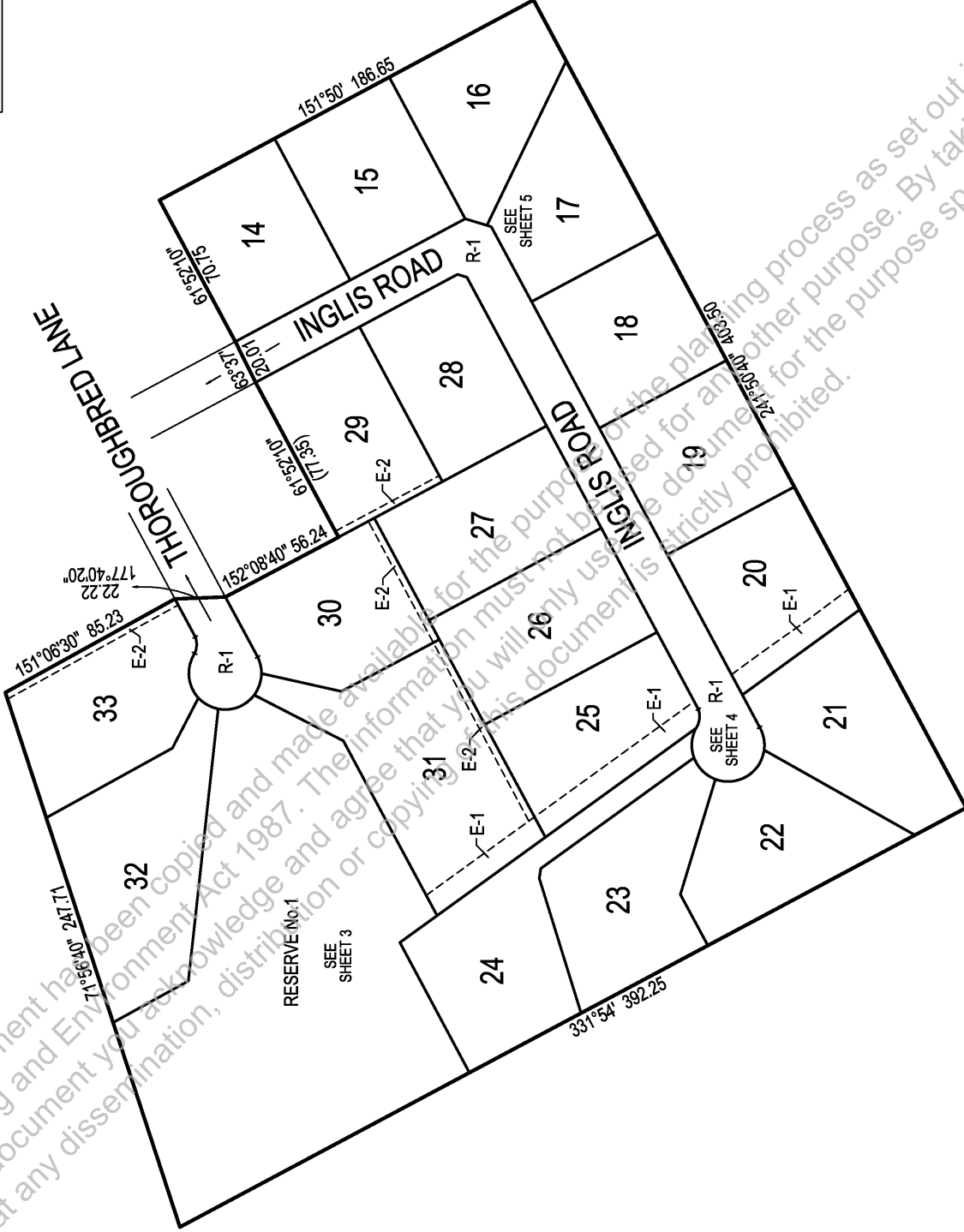
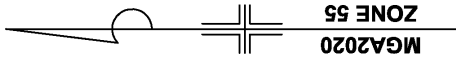
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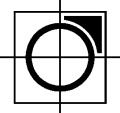

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<h1>PLAN OF SUBDIVISION</h1>		<h2>EDITION 1</h2>	<h1>PS904054M</h1>	
<p><b>LOCATION OF LAND</b></p> <p><b>PARISH:</b> BENALLA</p> <p><b>TOWNSHIP:</b> -----</p> <p><b>SECTION:</b> 5</p> <p><b>CROWN ALLOTMENT:</b> 17 (PART)</p> <p><b>CROWN PORTION:</b> -----</p> <p><b>TITLE REFERENCE:</b> VOL. 12349 FOL. 695</p> <p><b>LAST PLAN REFERENCE:</b> PS831575L (LOT 14)</p> <p><b>POSTAL ADDRESS:</b> 30 INGLIS ROAD (at time of subdivision) BENALLA 3672</p> <p><b>MGA2020 CO-ORDINATES:</b> E: 410920 ZONE: 55 (of approx centre of land in plan) N: 5956310 GDA 2020</p>		<p>Council Name: Benalla Rural City Council</p> <p>Council Reference Number: S3177 Planning Permit Reference: P0080/19 SPEAR Reference Number: S182922V</p> <p><b>Certification</b></p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p><b>Statement of Compliance</b></p> <p>This is a statement of compliance issued under section 21 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied</p> <p>Digitally signed by: Nilesh Neal Singh for Benalla Rural City Council on 17/07/2023</p>		
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL/BODY/PERSON	<p><b>ADDITIONAL PURPOSE OF THIS PLAN:</b> Removal of easement E-2 of PS831575L, which is not shown on this plan, within ROADS R-1.</p> <p><b>GROUND FOR REMOVAL OF EASEMENT:</b> By consent of the interested parties vide section 6(1)(K) of the Subdivision Act 1988.</p> <p>Lots 1-13 (B.I.) have been omitted from this plan</p> <p><b>Creation of Restriction</b> Upon registration of this plan the following restriction is to be created:</p> <p>The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the burdened land.</p> <p><b>Burdened Land:</b> Lots14-33 on PS904054M, except Reserve no. 1</p> <p><b>Benefited Land:</b> Lots14-33 on PS904054M, except Reserve no. 1</p> <p><b>Restriction:</b> The burdened land cannot be used except in accordance with the provision of recorded MCP AA7886.</p>		
RESERVE No.1 ROADS R-1	BENALLA RURAL CITY BENALLA RURAL CITY			
<b>NOTATIONS</b>		<p><b>DEPTH LIMITATION</b> Nil</p> <p><b>SURVEY:</b> This plan is based on survey.</p> <p><b>STAGING:</b> This is not a staged subdivision. Planning Permit No. P0080/19</p> <p>This survey has been connected to Permanent Marks No(s). 112, 163, 203, 232</p> <p>In Proclaimed Survey Area No. 62</p>		
<p><b>DEPTH LIMITATION</b> Nil</p> <p><b>SURVEY:</b> This plan is based on survey.</p> <p><b>STAGING:</b> This is not a staged subdivision. Planning Permit No. P0080/19</p> <p>This survey has been connected to Permanent Marks No(s). 112, 163, 203, 232</p> <p>In Proclaimed Survey Area No. 62</p>				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 E-2	DRAINAGE DRAINAGE	10 3	THIS PLAN THIS PLAN	BENALLA RURAL CITY BENALLA RURAL CITY
 <p><b>OXLEY + CO</b> SURVEYORS ENGINEERS PLANNERS DEVELOPMENT CONSULTANTS 45 OVENS STREET, WANGARATTA 3677 (03) 5721 6255   oxleyco.com.au   admin@oxleyco.com.au</p>		<p>SURVEYORS FILE REFERENCE: <b>S9721</b> VERSION: <b>4</b></p> <p>Digitally signed by: Matthew Ross Bowers, Licensed Surveyor, Surveyor's Plan Version (4), 14/07/2023, SPEAR Ref: S182922V</p>		<p>ORIGINAL SHEET SIZE: A3 SHEET 1 OF 5 SHEETS</p> <p>PLAN REGISTERED TIME: 3:50PM DATE: 09/08/2023 J. QIN Assistant Registrar of Titles</p>

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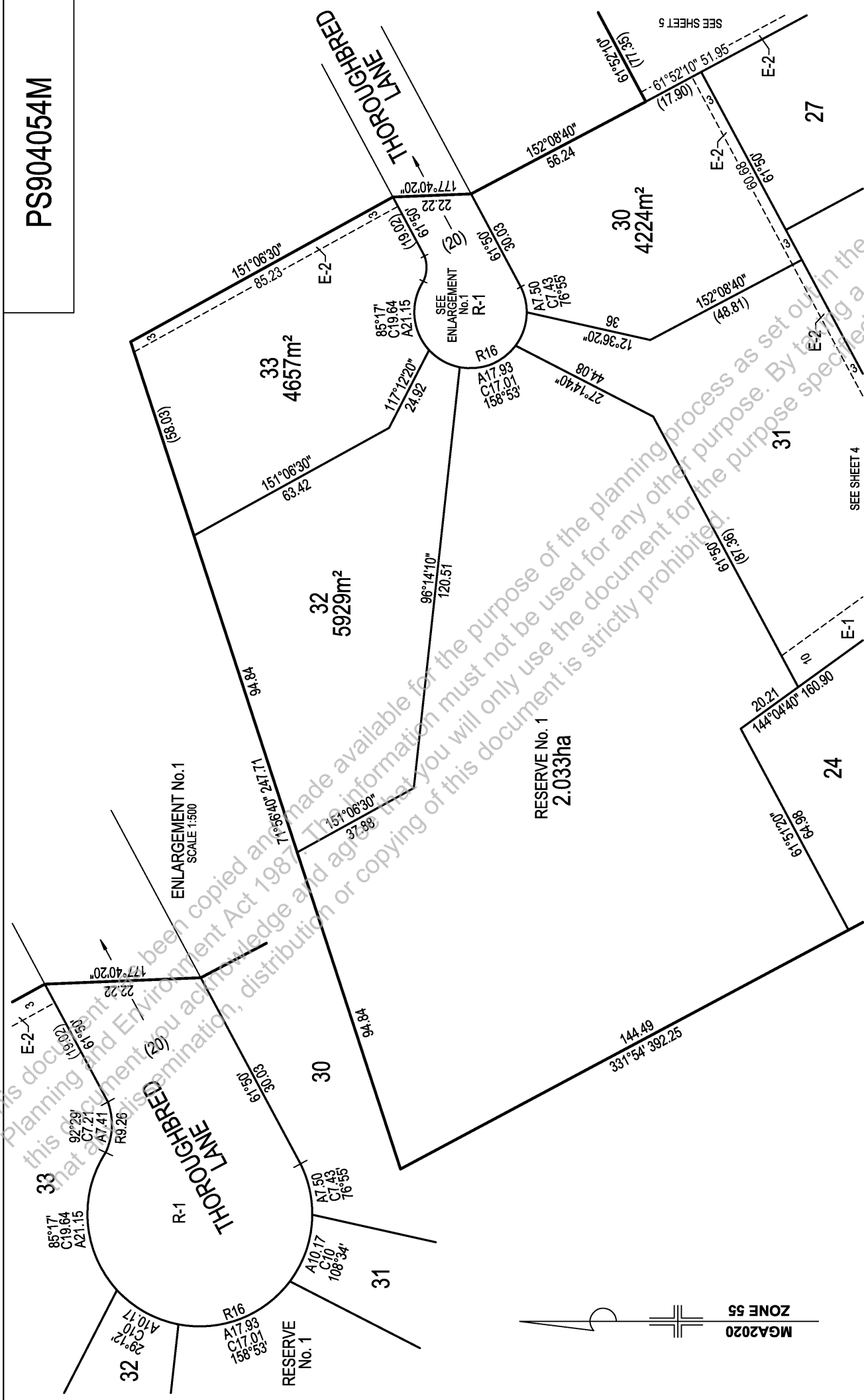


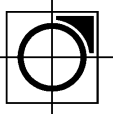
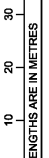
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Amended by: Matthew Ross Bowers, Licensed Surveyor 09/08/2023.

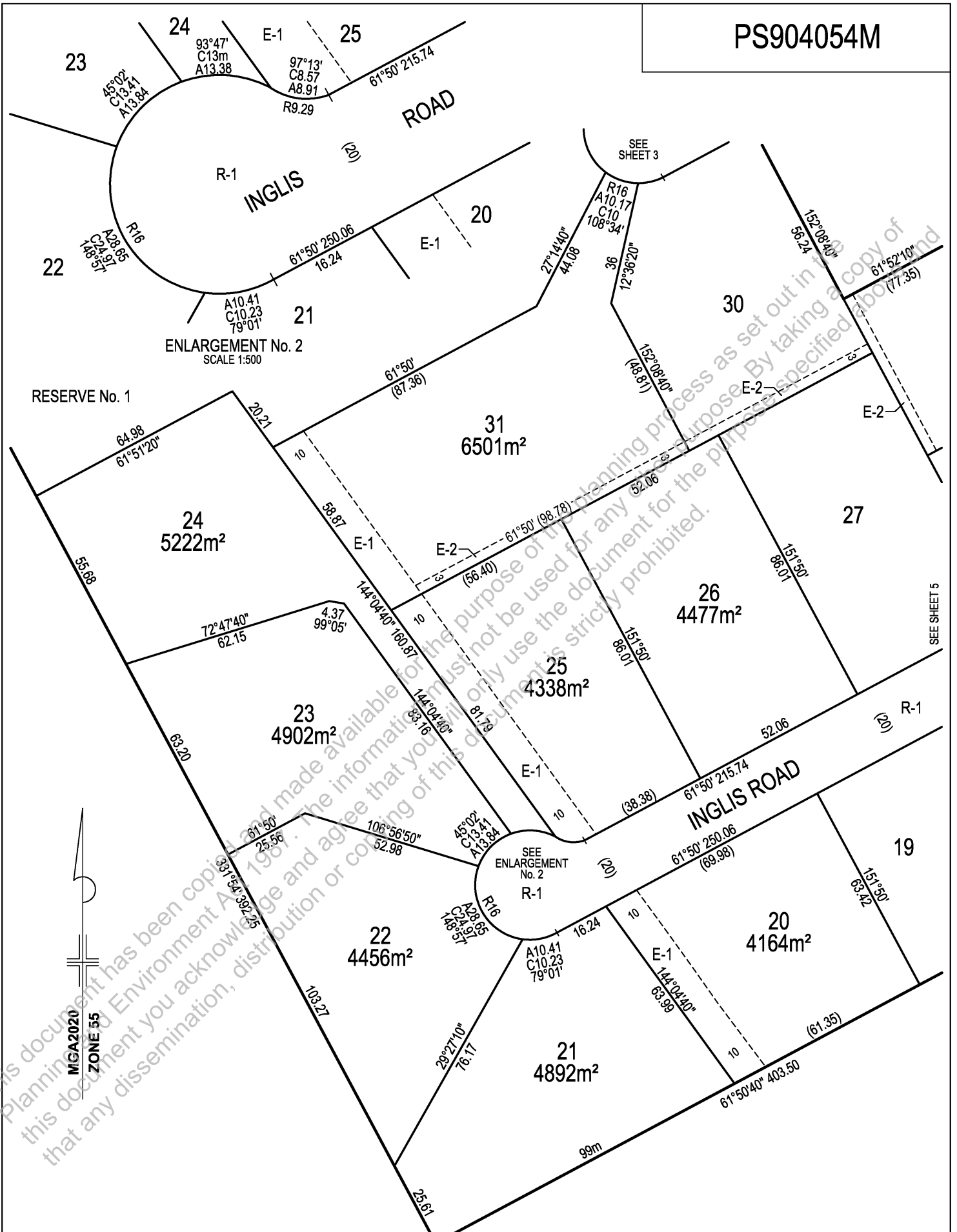


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SCALE 1:1000

LENGTHS ARE IN METRES

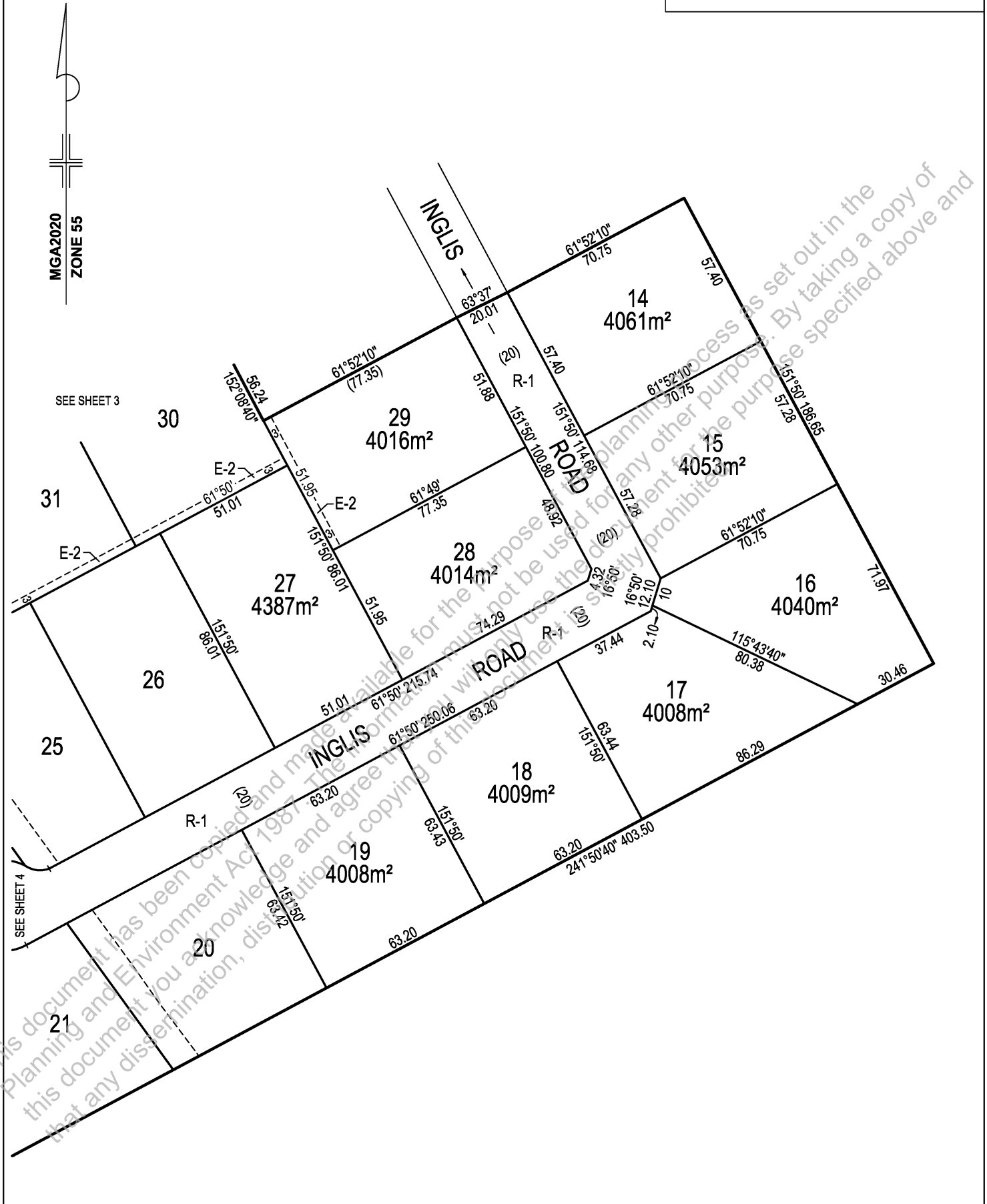
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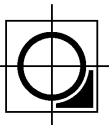
SHEET 4

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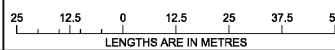
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SCALE  
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SHEET 5

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